



## CITY COUNCIL AGENDA

PUBLIC NOTICE is hereby given that the City Council of Spanish Fork, Utah, will hold a regular public meeting in the Council Chambers in the City Office Building, **40 South Main Street**, Spanish Fork, Utah, commencing at **6:00 p.m. on November 20, 2012.**

### AGENDA ITEMS:

#### 1. CALL TO ORDER, PLEDGE, OPENING CEREMONY, RECOGNITIONS:

- a. Pledge, led by invitation

#### 2. PUBLIC COMMENTS:

Please note: In order to be considerate of everyone attending the meeting and to more closely follow the published agenda times, public comment will be limited to three minutes per person. A spokesperson who has been asked by a group to summarize their concerns will be allowed five minutes to speak. Comments which cannot be made within these limits should be submitted in writing. The Mayor or Council may restrict the comments beyond these guidelines.

#### 3. COUNCIL COMMENTS:

#### 4. CONSENT ITEMS:

These items are considered by the City Council to be routine and will be enacted by a single motion. If discussion is desired on any particular consent item, that item may be removed from the consent agenda and considered separately.

- a. \* Minutes of Spanish Fork City Council Meeting – November 6, 2012
- b. \* Funding Agreement with Redevelopment Agency
- c. \* Hone Family Trust Real Estate Purchase Agreement
- d. \* Legacy Farms Connector's Agreement

#### 5. PUBLIC HEARING:

- a. \* Construction Standards Revision

#### 6. NEW BUSINESS:

- a. \* Maple Mountain Amended Preliminary Plat & Development Agreement
- b. FY 2012 Independent Audit
- c. \* Fiesta Days Parade Early Set-up Discussion – Title 12.12

### ADJOURN:

\* Supporting documentation is available on the City's website [www.spanishfork.org](http://www.spanishfork.org)

Notice is hereby given that:

- In the event of an absence of a quorum, agenda items will be continued to the next regularly scheduled meeting.
- By motion of the Spanish Fork City Council, pursuant to Title 52, Chapter 4 of the Utah Code, the City Council may vote to hold a closed meeting for any of the purposes identified in that Chapter.
- This agenda is also available on the City's webpage at [www.spanishfork.org](http://www.spanishfork.org)

SPANISH FORK CITY does not discriminate on the basis of race, color, national origin, sex, religion, age or disability in the employment or the provision of services. The public is invited to participate in all Spanish Fork City Council Meetings located at 40 South Main St. If you need special accommodation to participate in the meeting, please contact the City Manager's Office at 804-4530.

Tentative Minutes  
Spanish Fork City Council Meeting  
November 6, 2012

Elected Officials Present: Mayor G. Wayne Andersen, Councilmembers Steve Leifson, Rod Dart, Keir A. Scoubes, Richard Davis, Brandon Gordon.

Staff Present: David Oyler, City Manager; Junior Baker, City Attorney; Seth Perrins, Assistant City Manager; Dave Anderson; Community Development Director; Chris Thompson, Public Works Director; Dale Robinson, Parks & Recreation Director; Kent Clark City Recorder/Finance Director; Steve Adams, Public Safety Director; Angie Warner, Deputy Recorder.

Citizens Present: Flora Clarke, Lyle Evans, Bryson Evans, Joseph Burrows, Logan Lawson, Rebecca Burrows, Cris Child, Charles Graham, Daniel Graham, Stuart Holley, Jackson Jensen, Alex Woidka, Mark Holley, Mitchel Jenkins, Adam Jenkins, Elijah Rea, Nancy Johnson, Mason Johnson, Brook Monroe, Bryce Marshall, Cameron Monroe, Russell Graham, Joe Graham, Juli Pullman, Kimberlee Armstrong, James Armstrong, Joyce Nuttall, Stephen Nuttall, Maxim Burov, Cary Hanks, Tami-li Negus, Deana Anderson, Colby Sharp, Ryan Sharp.

**CALL TO ORDER, PLEDGE, RECOGNITION:**

Mayor Andersen called the meeting to order at 6:00 p.m.

Alex Woidka led in the pledge of allegiance.

**PUBLIC COMMENTS:**

**Agenda Request – Spanish Fork Salem Area Chamber of Commerce – Present Scarecrow Contest Winner**

Cary Hanks Director of the Spanish Fork Salem Area Chamber of Commerce presented the trophy to the Spanish Fork Ambulance Crew for the best voted scarecrow. Ms. Hanks thanked all that participated.

**COUNCIL COMMENTS:**

Councilman Gordon thanked the Chamber of Commerce and the Spanish Fork businesses for making the Trick-or-Treat on Main Street a success.

Councilman Davis turned the time over to Cris Child the Spanish Fork Springville Airport Manager.

Cris Child gave an update on the construction at the airport and the great outcome for the Aeroplanes, Trains & Automobiles event.

Councilman Leifson recognized the passing of Ernest Taylor who was a crossing guard for Spanish Fork City for 17 years; Mr. Taylor will be missed.

Councilman Dart said the Library is accepting food for fines during the month of November.

Councilman Scoubes gave an update from the solid waste board meeting. Councilman Scoubes thanked the ambulance and police for their services.

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Mayor Andersen encouraged everyone to go vote if you have not already.

**SPANISH FORK 101:** Chris Thompson, Powerhouse Road Diversion

**CONSENT ITEMS:**

- a. Minutes of Spanish Fork City Council Meeting – October 16, 2012
- b. UDOT Cooperative Agreement for Signals & Cul-de-sac Work at 400 South, 800/820 East Canyon Road
- c. Amended Inventive Agreement with Costco and the Redevelopment Agency
- d. Spanish Fork South & Salem Canal Powerhouse Road Diversion Agreement
- e. 200 East Center Street to 900 North Water Main Replacement Project Change Order #1

Councilman Gordon made a **Motion** to **approve** the consent items.

Councilman Leifson **Seconded** and the motion **Passed** all in favor.

**NEW BUSINESS:**

**Ordinance #16-12 Updating the Municipal Code to Comply with Changes in the State Code Concerning Alcohol Sales to Minors**

Junior Baker presented the following change to the Spanish Fork Municipal Code as per State Code:

***5.12.060 Revocation-Hearing Examiner.***

*A. [no change]*

*B. [no change]*

*C. Except for cases involving sales of alcohol to underage persons by offsite beer retailers, the Hearing Examiner, or City Council, shall follow the following criteria when holding revocation hearings:*

- 1. The City license shall be revoked if the State license has been revoked.*
- 2. The permit holder shall receive a warning for a first violation of this Chapter or of the Alcoholic Beverage Control Act.*
- 3. The permit holder shall have the permit revoked for a period of up to six months if the violation is a second violation within two years of the first violation and shall be subject to a civil penalty of up to \$250.00.*
- 4. The permit holder shall have the permit revoked indefinitely if the violation is a third violation within two years of two prior violations and shall be subject to a civil penalty of up to \$500.00. The permit holder will not be allowed to reapply for a permit for a period of time up to one year as designated by the Hearing Examiner or City Council. The City is not required to grant a permit upon reapplication.*

*D. In cases of sales of alcohol to underage persons by offsite beer retailers, the Hearing Examiner, or City Council, shall follow the requirements set forth in Utah Code Ann. §32B-7-302(3).*

*E. For purposes of revoking a permit, the permit holder is responsible for the acts of its employees, agents, or others acting under the permit issued.*

Councilman Dart made a **Motion** to **approve** the Ordinance #16-12 Updating the Municipal Code to Comply with Changes in the State Code Concerning Alcohol Sales to Minors.

Councilman Scoubes **Seconded** and the motion **Passed** all in favor with a roll call vote.

**Freeway Landscape Enhancement Proposal**

Dale Robinson presented the proposal for the landscaping to finish the new interchange for Spanish Fork Main Street. UDOT did provide landscaping for one section in the amount of \$100,000.00. Staff is proposing that the rest of the project could be completed for \$196,531.98.

101 The Parks & Recreation Committee recommended approval for the complete project.

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103 Kent Clark explained that RDA money would fund this project.

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105 Council agreed to move forward with the process.

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107 **Amendment to the Land & Water Fund Agreement**

108 Dave Anderson said this amendment is to reassign federally designated park areas. Staff would  
109 like the one location off of Highway 6 by the mouth of the canyon to no longer be a designated  
110 park and assign that acreage to 4 other locations closer to residents.

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112 Councilman Leifson made a **Motion** to **approve** the Amendment to the Land & Water Fund  
113 Agreement.

114 Councilman Davis **Seconded** and the motion **Passed** all in favor.

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116 **ADJOURN TO REDEVELOPMENT AGENCY**

117 Councilman Davis made a **Motion** to adjourn out of City Council Meeting and into  
118 Redevelopment Agency Meeting.

119 Councilman Scoubes **Seconded** and the motion **Passed** all in favor at 6:58 p.m.

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121 Councilman Davis made a **Motion** to adjourn Redevelopment Agency meeting and reconvene  
122 back to City Council meeting.

123 Councilman Gordon **Seconded** and the motion **Passed** all in favor at 7:02 p.m.

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125 **ADJOURN:**

126 Councilman Leifson made a **Motion** to **adjourn** to Closed Session to discuss Litigation.

127 Councilman Scoubes **Seconded** and the motion **Passed** all in favor at 7:03 p.m.

128  
129 ADOPTED:

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131 \_\_\_\_\_  
Angie Warner, Deputy Recorder



## MEMO

To: Mayor and Council  
From: S. Junior Baker  
Date: 19 November 2012  
Re: RDA Funding Contract

On the City Council agenda, for November 20, is an item to approve a contract with the RDA for funding incentives. This contract is the same one the RDA approved last meeting. I failed to have the Council approve it, as well. It provides funding for the RDA to make economic incentives to businesses to come to Spanish Fork. The only current obligation is for Costco.



## **INCENTIVE FUNDING AGREEMENT**

This Incentive Funding Agreement is entered into on this 6th day of November, 2012, by and between THE REDEVELOPMENT AGENCY OF SPANISH FORK CITY, (hereinafter "RDA"), and SPANISH FORK CITY(hereinafter "City").

### **RECITALS**

WHEREAS, Tenedor, LLC is a commercial developer who is developing a commercial project in Spanish Fork City which will attract national retail stores which will add great strength to the local economy; and

WHEREAS, City has created a Community Development Area to be administered by RDA to assist Developer with development of the Project Area; and

WHEREAS, since a Community Development Area has no property tax increment monies available, funding will need to come from City; and

WHEREAS, RDA will need funding from City in order to offer incentives to businesses which will add benefit to the local economy; and

WHEREAS, in order to facilitate the development of the Project Area, City is willing to invest funds into the CDA.

### **AGREEMENT**

NOW THEREFORE, the parties hereunto agree as follows:

1. **SOURCE OF FUNDING.** City will provide to RDA, from its general fund, a total of \$1,025,000.00 in order to provide incentive funding to various business enterprises which will greatly enhance City's economic base.
2. **TIMING OF FUNDING.** City will provide the funding provided for in the preceding paragraph over 18 months from January 1, 2013, in increments as requested by RDA to meet its commitments.

IN WITNESS WHEREOF, this Agreement has been executed on the day and year first above written.

**SPANISH FORK CITY** by:

\_\_\_\_\_  
G. WAYNE ANDERSEN, Mayor

Attest:

\_\_\_\_\_  
KENT R. CLARK, City Recorder

**REDEVELOPMENT AGENCY OF SPANISH  
FORK** by:

\_\_\_\_\_  
G. WAYNE ANDERSEN, Chair

Attest:

\_\_\_\_\_  
David Oyler, Executive Director

**ACKNOWLEDGMENT**

STATE OF )  
 :ss.  
COUNTY OF )

On this \_\_\_\_ day of \_\_\_\_\_, 2007, before me personally appeared JEFFREY K. WOODBURY and O. RANDALL WOODBURY, to me personally known to be the Vice President and Secretary of WOODBURY CORPORATION, the corporation that executed the within instrument, known to me to be the person who executed the within instrument on behalf of said corporation therein named, and acknowledged to me that such corporation executed the within instrument pursuant to its by-laws or a resolution of its board of directors.

Notary Public

**ACKNOWLEDGMENT**

STATE OF )  
 :ss.  
COUNTY OF )

On this \_\_\_\_ day of \_\_\_\_\_, 2007, before me personally appeared RICHARD L.K. MENDENHALL, to me personally known to be the Manager of TENEDOR LLC, the company that executed the within instrument, known to me to be the persons who executed the within instrument on behalf of said company therein named, and acknowledged to me that such company executed the within instrument pursuant to its articles of organization.

Notary Public

**ACKNOWLEDGMENT**

STATE OF UTAH     )  
  ):ss  
County of Utah     )

On this \_\_\_\_\_ day of \_\_\_\_\_, 2007, before me, a Notary Public in and said County and State, personally appeared \_\_\_\_\_, \_\_\_\_\_ of Spanish Fork, known or identified to me to be the individual whose name is subscribed to the within instrument, and acknowledged to me that he/she executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

\_\_\_\_\_  
Notary Public



## MEMO

To: Mayor and Council  
From: S. Junior Baker  
Date: 19 November 2012  
Re: Hone Property Purchase Agreement

On the City Council agenda for November 20, is a consent item for the purchase of the property located at 2305 E. Canyon Road, owned by Betty Hone. This purchase was approved in a closed session quite some time ago. The purchase price is \$90,000.00, plus closing costs.

Since the purchase has already been approved, it has been placed on the consent agenda.

## REAL ESTATE PURCHASE AGREEMENT

COME NOW the parties hereto, Spanish Fork City (City) and the Betty W. Hone Family Trust (Hone), and in consideration of the mutual promises made herein, hereby contract, covenant and agree as follows:

1. Hone owns a parcel of real property in Spanish Fork City located at 2305 E. Canyon Road, which City desires to obtain to construct a street, more particularly described as follows (the Property):

Commencing 55.90 chains North and 0.50 of a chain East from the Southwest Corner of Section 28, Township 8 South, Range 3 East, Salt Base and Meridian; thence North 0° 07' West 280.5 feet; thence North 89° 46' East 142.57 feet; thence South 333.05 feet; thence North 69° 54' West 151.21 feet to the place of beginning.

2. City is desirous of purchasing the Property upon the terms and conditions set forth herein.
3. City will pay the sum of \$90,000.00 for the Property. The full purchase price is due at closing. Each party shall be responsible for their own closing costs.
4. Hone will also transfer the Strawberry Water associated with the property for additional compensation, as set forth in an earlier agreement between the parties.
5. The closing will take place on or before December 20, 2012. Possession shall be transferred at the time of closing.
6. The title to the property being conveyed shall be pursuant to a warranty deed and shall be vested in the name of Spanish Fork City.
7. The parties agree to use Title West to provide a commitment for standard coverage title insurance in the amount of the purchase price. The policy shall

insure that City shall be the fee simple owner of good and marketable title free and clear of all liens and encumbrances and subject to the standard exceptions as shown on the title policy. Each party shall have three (3) days after receipt of the commitment of title insurance and all relevant documents to notify the other in writing of any objections to the title. If no objection is made, all items shall be deemed permitted. If any exceptions to title are made, the other party shall have until closing to cure such exception. If exceptions are unable to be cured, the party so excepting may choose to void this agreement or to proceed with the exceptions. If voided, all obligations of the parties shall cease and this agreement shall be void without further recourse to the parties hereto.

8. City has heretofore investigated the property and determined that it is suitable for its purposes. City therefore accepts the property "as is."
9. Hone warrants and represents as follows:
  - A. That no person or entity claiming under, by, or through Hone has any option or contract to purchase any or all of the property to be sold or any interest therein.
  - B. The property will be free and clear of any mechanics liens resulting from work performed on or with respect to the property prior to such conveyance.
  - C. Hone has not received written notice from any governmental body claiming any current violations of any hazardous material law, or requiring compliance with hazardous material law, or demanding payment or

contribution for environmental damage or injury to natural resources. For this purpose, hazardous material law means any State or Federal statute applicable to the property relating to the installation, use, storage, release, generation, discharge, disposal, treatment, handling, or transportation of hazardous materials.

- D. None, nor to its knowledge any previous owner, tenant, or occupant of the property, has engaged in or permitted operations or activities upon or allowed any use or occupancy of the property for the purpose or in any way involving the handling, manufacturing, treatment, storage, use, generation, release, discharge, refining, dumping, or disposal of any hazardous.
  - E. In the event, at any time prior to closing, that any party learns that any of the aforesaid representations and warranties are no longer valid, such party shall immediately notify the other in writing. The party so notified shall then have the option to proceed with this agreement subject to the changed conditions, or to void this agreement and have no further obligation to the other party.
10. This document represents the entire agreement between the parties. All prior negotiations, representations, commitments, or understandings are merged herein and superceded hereby. This agreement may only be amended by a written agreement entered into between the parties.
11. Time is of the essence of this agreement. In case either party fails to perform the requirements of this agreement, at the time performance is required, the other party may, at its election, terminate the agreement.

12. If any action, suit, or proceeding is brought by a party with respect to a matter governed by this agreement, all costs and expenses of the prevailing party in such action, suit, or proceeding, including reasonable attorneys fees, shall be paid by the non-prevailing party.
13. All risk of loss or damage to the property shall be borne by the seller until possession exchanges.

DATED this 20th day of November, 2012.

SPANISH FORK CITY by:

\_\_\_\_\_  
G. WAYNE ANDERSEN, Mayor

Attest:

\_\_\_\_\_  
KENT R. CLARK, Recorder

BETTY W. HONE FAMILY TRUST by:

\_\_\_\_\_  
STEVEN B. WARNER, Trustee



## MEMO

To: Mayor and Council  
From: S. Junior Baker  
Date: 9 Nov 2012  
Re: Legacy Farms Connector's Agreement

On the Council agenda for November 20, is a connector's agreement for the Legacy Farms development on 400 North. They installed culinary water and pressure irrigation water lines in 400 North from approximately 1880 East to 2010 East. They also ran electric line and an additional conduit in 2550 East from 400 North to approximately 130 North. They ran an electric line in 400 North from 2550 East to approximately 2065 East. They are seeking pro-rata reimbursement from those other properties which connect to it. This is a standard connector's agreement and thus, appears on the consent agenda.



## CONNECTOR'S AGREEMENT

This Connector's Agreement made this 20<sup>th</sup> day of November, 2012, by and between Spanish Fork City, hereinafter called City, and Legacy Farms at Spanish Fork, LLC, hereinafter called Developer.

### RECITALS

WHEREAS, Developer is the owner of real property in Spanish Fork City; and,

WHEREAS, in order to develop that property, Developer has installed offsite utility improvements which will benefit other properties as they develop in the future; and

WHEREAS, a portion of the cost of the offsite improvements are due to upsizing for future growth and will be reimbursed from impact fees, leaving the balance to be recovered from the properties benefitting therefrom pursuant to this connector's agreement; and

WHEREAS, Developer has installed a sixteen (16) inch culinary waterline in 400 North from approximately 2010 East to 1880 East, a distance of 600 feet, at a cost of \$52,897.74, of which \$9,225.47 will be reimbursed from impact fees, leaving a balance due under this contract of \$43,672.27, or \$72.79 per foot; and

WHEREAS, Developer has installed a fourteen (14) inch pressurized irrigation waterline from approximately 2010 East to 1880 East, a distance of 600 feet, at a cost of \$46,781.74, of which \$5,488.71 will be reimbursed from impact fees, leaving a balance due under this contract of \$41,293.03, or \$68.82 per foot; and

WHEREAS, Developer has installed an electric line in the north side of 400 North from approximately 2065 East to 2550 East, and in the west side of 2550 East from 400 North to 130 North, for a total distance of 3,455 feet, at a cost of \$406,938.83, of which \$71,310.01 will be reimbursed from impact fees, leaving a balance due under this contract of \$335,628.82, or \$97.14 per foot; and

WHEREAS, there will be electric lines serving both sides of 2550 East, as well as 400 North. Therefore, the entire cost or reimbursement for these electric lines should be assessed to the properties on the west side of 2550 East and the north side of 400 North; and

WHEREAS, Developer has installed conduit for a future electric line on the west side of 2550 East from 400 North to 130 North, for a total distance of 1,379 feet at a cost of \$31,542.80, or \$22.87 per foot, which conduit will serve the properties on the east side of 2550 East. Therefore, the entire cost of reimbursement for the electric conduit should be assessed to properties on the east side of 2550 East; and

WHEREAS, Exhibit A, attached hereto and incorporated herein by this reference, identifies the culinary waterline, pressurized irrigation waterline, electric lines, and electric conduit installed by Developer; and

WHEREAS, it is anticipated that other owners of adjacent property will, at some time in the future, desire to develop their property; and

WHEREAS, those other property owners would have to install equivalent facilities to develop their property, if not already installed by Developer; and

WHEREAS, City has determined that it is just and proper that owners of property who develop their property and attach to the sixteen (16) inch culinary waterline should reimburse Developer at the rate of \$36.39 per foot for the length of the property developed, provided a land owner who attaches merely for the purpose of extending the culinary waterline shall not be responsible for the cost thereof; and

WHEREAS, City has determined that it is just and proper that owners of property who develop their property and attach to the fourteen (14) inch pressurized irrigation waterline should reimburse Developer at the rate of \$34.41 per foot for the length of the property developed, provided a land owner who attaches merely for the purpose of extending the pressurized irrigation waterline shall not be responsible for the cost thereof; and

WHEREAS, City has determined that it is just and proper that owners of property who develop and attach to the electric lines should reimburse Developer at the rate of \$97.14 per foot for the length of the property developed, provided a land owner who attaches merely for the purpose of extending the electric line shall not be responsible for the cost thereof; and

WHEREAS, City has determined that it is just and proper that owners of property who develop and use the electric conduit should reimburse Developer at the rate of \$22.87 per foot for the length of the property developed;

NOW, THEREFORE, in consideration of ten dollars and other good and valuable consideration paid by Developer to City, the parties agree as follows:

### TERMS

1. City will require the payment of \$36.39 per frontage foot of property developed and connecting to the sixteen (16) inch culinary waterline shown on Exhibit A as a condition of permitting any owner of property connecting to the culinary waterline to develop their property.
2. City will require the payment of \$34.41 per frontage foot of property developed and connecting to the fourteen (14) inch pressurized irrigation line shown on Exhibit A as a

condition of permitting any owner of property connecting to the pressurized irrigation line to develop their property.

3. City will require the payment of \$97.14 per frontage foot of property developed and connecting to the electric lines shown on Exhibit A as a condition of permitting any owner of property connecting to the electric line to develop their property.
4. City will require the payment of \$22.87 per frontage foot of property developed and using the electric conduit shown on Exhibit A as a condition of permitting any owner of property to use the electric conduit to develop their property.
5. That payment of the sums mentioned in the preceding paragraphs shall bear no interest from the date hereof to date of payment.
6. That if a development application is made after thirty years from the date hereof, there shall be no payment required as a pre-condition of development approval.
7. That upon receipt of any sums due hereunder, City agrees to remit said sum to Developer or its assignees.
8. That it shall be the responsibility of Developer or its assigns to advise City, in writing, of any impending development which likely would trigger the connector's fee. In no event shall City be liable for failure to make collection, it being understood and agreed that City will use its best efforts to make such collection.

SPANISH FORK CITY by:

\_\_\_\_\_  
G. WAYNE ANDERSEN, Mayor

Attest:

\_\_\_\_\_  
KENT R. CLARK, Recorder

LEGACY FARMS AT SPANISH FORK, LLC by:

\_\_\_\_\_  
DUANE F. HUTCHINGS, Manager

# Legacy Farms Connectors Agreements

Exhibit A



1" = 500 Ft

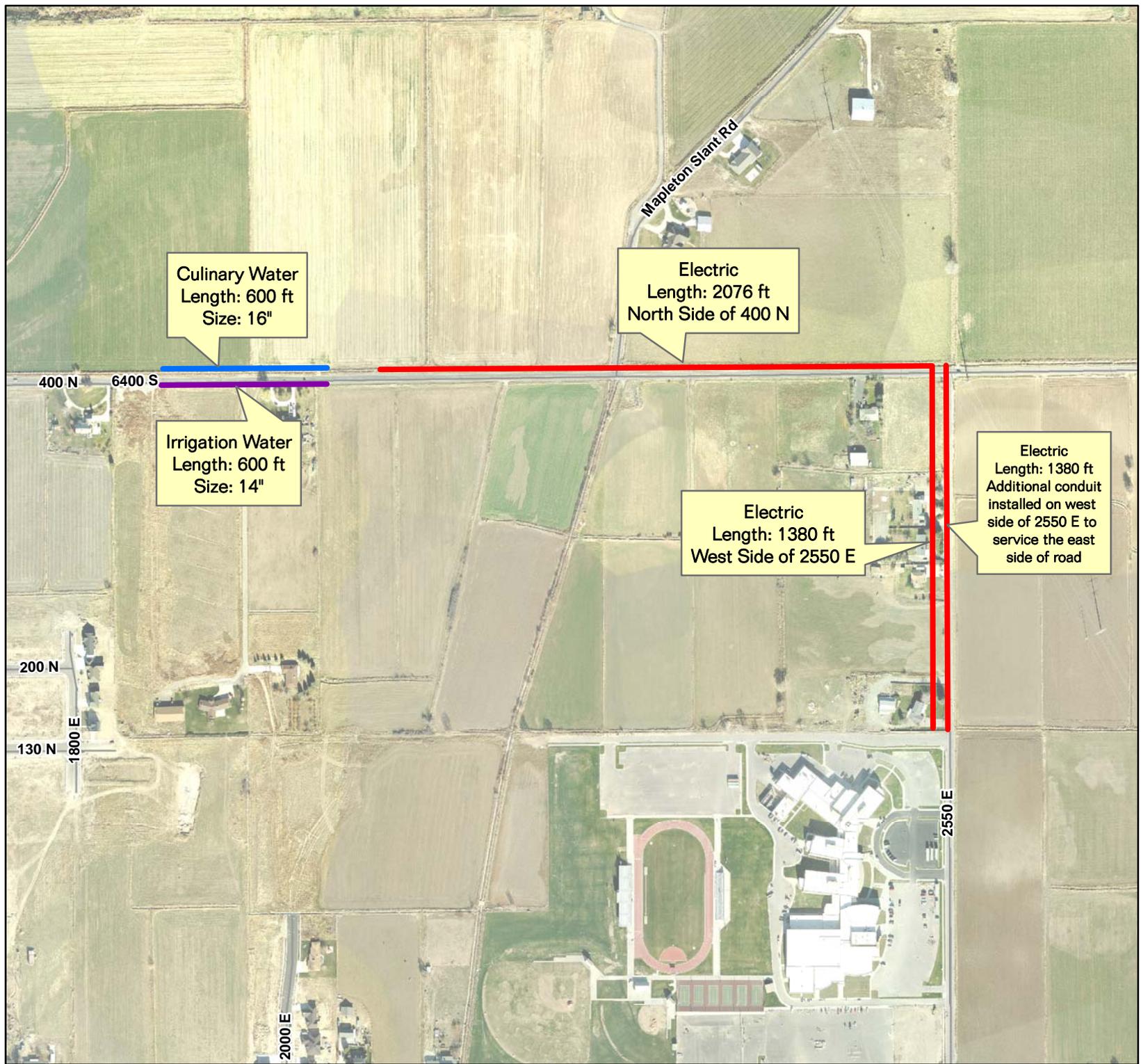
-  Culinary Water
-  Pressurized Irrigation
-  Electric

Print Date: 10/31/2012



GE MS  
**Spanish Fork City GIS**  
40 South Main St  
Spanish Fork, UT 84660  
GIS Phone Numbers;  
**(801) 804-4571 (Administrator)**  
**(801) 804-4570 (Interns)**

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# Memo

To: Mayor and City Council  
From: Chris Thompson, Public Works Director/City Engineer  
Date: November 14, 2012  
Re: November 2012 Construction Standards Revision

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## Staff Report

A few of the more significant changes proposed in this update to our construction standards include:

- We have removed development regulations that are duplicated in Title 15;
- We propose to install 30 inch curb and gutter in new development; and
- Paving operations after October 15<sup>th</sup> of each year must be approved by the city engineer or his/her designee.

In order to avoid conflicting policy it is important to only regulate development in one ordinance if possible. By removing these items from our standards we are able to change the title of this policy to simply "Construction Standards". Development regulations, other than construction standards, will then mostly be regulated in Title 15.

30 inch curb and gutter has almost the same set up and labor costs as our past 24 inch curb and gutter. Therefore the cost is not significantly higher for its installation. We do not propose to make the streets wider with this standard change but instead decrease the asphalt width by 1 foot. Asphalt paving on the other hand decreases more proportionally by the square foot so we believe this standard change should have no significant increase and perhaps a decrease to development cost.

A 30 inch gutter holds more of the water in the gutter keeping it off of the edge of the asphalt pavement. In our evaluation of city streets we are finding that this is where many of our streets are starting to fail because of water damage. It also decreases the future maintenance cost of the roads by 1/34<sup>th</sup> (for a local road). 1/34<sup>th</sup> of our maintenance budget equates to over \$35,000 annually.



Finally, we are finding that developers are pushing to pave their subdivisions late in the year where temperatures would degrade the quality of pavement installation. We find that these roads do not last as long and are much more expensive to maintain. For this reason UDOT has regulations in place preventing paving on their streets after October 15<sup>th</sup>. We are proposing a similar regulation with the option for the city engineer or his/her designee to allow it if unseasonal weather is experienced and it is his or her determination that a quality installation can be done.

We recommend that the city council approve this revision to the city construction standards.

Attached: proposed changes

**Chapter 39.05. Preliminary Plat.****39.05.010. Filing:**~~— A. Submission:~~~~— B. Review:~~**39.05.020. Form and Contents:**~~— A. Preliminary Plat.~~~~— B. Master Planned Development Subdivision Packet.~~~~— C. Soils Report.~~~~— D. Storm Water Plan.~~~~— E. Title Report.~~~~— F. Other Jurisdictional Approvals.~~**39.05.010. Filing:**

— A. Submission. Developers should review conceptual plans with the City Planner before preparing preliminary plats. To apply for a preliminary plat, complete a preliminary plat application form. Forms are available at the City office or City website. Submit the completed form to the Community Development Department with the following:

- ~~— 1. Seven 24x36 inch copies of the preliminary plat drawings folded to a 9x12 inch size so the name of the subdivision is visible;~~
- ~~— 2. Two clearly legible 11x17 inch copies of the preliminary plat drawings;~~
- ~~— 3. A computer aided design (CAD) file of the plat must be submitted on a CD, or by an e-mail in an dwg or dxf format. The CAD file of the subdivision must be in the 1927 North American Datum (NAD27) or 1983 North American Datum (NAD 83) State Plane Coordinate System, Utah Central Zone, US Foot, with a tie to a section corner;~~
- ~~— 4. Payment of all the fees for preliminary plats.~~

~~— If anything is submitted by e-mail the Community Development Department must be contacted for the proper e-mail address and for confirmation the e-mail was received.~~

~~— B. Review. The City will review the submission and notify the Developer of any changes that must be made. Developer shall have a written response to all redlines corrected. Once these changes are made, one 24x36 inch copy, one 11x17 inch copy, CAD file and a Portable Document Format (PDF) file of the plat must be submitted to the Community Development Department. Ten bound subdivision packets must also be submitted for master planned developments.~~

~~— All drawings, CAD files, and packets must be updated and re-submitted to the City with any changes made that were required by the Development Review Committee, Planning Commission, or City Council after each meeting.~~

**39.05.020. Form and Contents:**

~~— A. Preliminary Plat. The preliminary plat of a subdivision shall contain the following information:~~

- ~~— 1. The proposed name of the subdivision;~~
- ~~— 2. The names and addresses of the Developer, the Civil Engineer of the subdivision, and other persons to whom notice of the hearing to be held by the City Council should be sent;~~
- ~~— 3. The names of all adjacent subdivisions and property owners;~~
- ~~— 4. The location of the subdivision as a part of some larger subdivision or tract of land referred to in the records of the county recorder. In such case, a sketch of the prospective street system of the unplatted parts of the subdivider's land shall be submitted and the street system of the part submitted shall be considered in light of existing master street plans or other Planning Commission street studies;~~
- ~~— 5. A tie to a section corner. All horizontal data shall be based on the 1927 North American Datum (NAD27) or 1983 North American Datum (NAD 83) State Plane Coordinate System, Utah Central Zone, US Foot. Horizontal datum shall be clearly written on all plat drawings;~~
- ~~— 6. A contour map with vertical intervals not to exceed two feet. Contours shall be clearly labeled. All vertical data shall be based on the 1929 North American Vertical Datum (NAVD29) or 1988 North American Vertical Datum (NAVD 88). Vertical datum shall be written on plat;~~
- ~~— 7. Show all existing and proposed streets, alleys, easements, watercourses including flood zone areas, irrigation ditches, fence lines, utilities, buildings, public areas and any other important features within 200 feet of the tract to be subdivided;~~
- ~~— 8. Phasing plan showing how proposed development will function until the subdivision is completed;~~
- ~~— 9. A table including: total acreage of area proposed for development, total acreage in lots, total acreage in open space, percent of open space, total number of lots, density in lots per acre, and flood zone;~~
- ~~— 10. The date of preparation, a standard engineering scale of not more than 100 feet to the inch, a north arrow, and a vicinity map; and~~
- ~~— 11. A stamp and signature of a Civil Engineer licensed in the state of Utah.~~

~~— B. Master Planned Development Subdivision Packet. The subdivision packet shall include a project overview, plat drawings, product elevations, landscape plan, description and design of amenities, CC&R's, and soil reports. The description and design of amenities shall include detailed drawings and pictures of proposed playgrounds, open space, trails, streetscapes, architectural variety, fencing, and any other items deemed necessary by the City Planner.~~

~~— C. Soils Report. The Developer must provide a detailed soils report addressing the following issues for the subdivision: hill stabilization, road design including CBR of existing soils, foundation design, groundwater impacts, and general soil stability. Report must be stamped and signed by a Civil Engineer licensed in the state of Utah.~~

~~— Whenever the soils report for a development requires foundation drains, a storm drain system with laterals to each foundation drain must be installed. Storm drain system must be at a lower elevation than the sewer system.~~

~~— D. Storm Water Plan. The Developer must provide a detailed storm water plan for the subdivision according to the Storm Water Drainage Design manual. This plan shall include all calculations showing that it meets all the requirements of the Standards, and the Drainage Design manual. Plan and calculations required by Chapter 39-20: Improvement and Design Requirements must be stamped and signed by a Civil Engineer licensed in the state of Utah.~~

~~— E. Title Report. Developer shall provide the city with a title report showing clear title for all of the properties in proposed development.~~

~~— F. Other Jurisdictional Approvals. Developer shall acquire approvals from any agency or company having affected properties or utilities.~~

**Chapter 39.10. — Final Plat:****39.10.010. — General:**~~— A. Time Limitation for Improvements:~~**39.10.020. — Filing:**~~— A. Submission:~~~~— B. Review:~~~~— C. Recordation:~~**39.10.030. — Form and Contents:**~~— A. Final Plat:~~~~— B. Construction Plans:~~~~— C. Soils Reports:~~~~— D. Storm Water Plan:~~~~— E. Site Grading Plan:~~**39.10.010. — General:**

~~— A. Time Limitation for Completion: All improvements within subdivisions must be completed within one year of the date of pre-construction meeting. Improvements which are not completed within the time limitation imposed herein shall work a forfeiture of any bond or surety which shall have been posted by the owner or subdivider.~~

**39.10.020. — Filing:**

~~— A. Submission: To apply for a final plat, complete a final Plat application form. Forms are available at the City office or City website. Submit the completed form to the Community Development Department with five 24x36 inch copies of the final plat and construction drawings stapled and folded to a 9 x 12 inch size so the name of the subdivision and plat is visible, the final plat on top.~~

~~— B. Review: The City will review the submission and notify the Developer of any changes that must be made. Developer shall provide a written response to all redlines corrected for final plat and construction documents. Once these changes are made submit the following:~~

- ~~— 1. One 24x36 inch copy of the final plat and construction drawings stapled and folded to a 9 x 12 inch size so the name of the subdivision and plat is visible, the final plat on top;~~
- ~~— 2. One 11x17 inch copy of the Final Plat and construction drawings;~~
- ~~— 3. A computer aided design (CAD) file and a Portable Document Format (PDF) file of the plat must be submitted on a CD or by e-mail in an dwg or dxf format and a pdf. The CAD file of the subdivision must be in the 1927 North American Datum (NAD27) or 1983 North American Datum (NAD 83) State Plane Coordinate System, Utah Central Zone, US Foot, with a tie to a section corner.~~

~~— If anything is submitted by e-mail the engineering secretary must be contacted for the proper e-mail address and for confirmation the e-mail was received.~~

~~— Once accepted by the Development Review Committee, four 24x36 inch copies, one clearly legible 11x17 inch copy and a CAD file of the plat must be submitted to the Community Development Department. Two 24x36 inch copies will be retained by the City, the other two 24x36 inch copies will be signed and stamped by the City and returned to the Developer. The Developer must insure that a copy of the signed and approved construction plans is on site at all times during construction.~~

~~— C. Recordation: Only the City may record final plats with the county recorder. All inspection, testing and/or connection fees required by ordinance shall be paid and permits required shall be obtained prior to the recording of Final Plat.~~

**39.10.030. — Form and Contents:**

~~— A. Final Plat: The Developer must submit a mylar of the final plat to the City in a format approved by the City and the County. The Final plat of a subdivision shall contain the following:~~

- ~~— 1. A tie to a section corner and the state plane coordinates of each point. All horizontal data shall be based on the 1927 North American Datum (NAD27) or 1983 North American Datum (NAD 83) State Plane Coordinate System, Utah Central Zone, US Foot. Horizontal datum shall be clearly written on the plat;~~
- ~~— 2. Accurate dimensions for all lines, angles and curves used to describe boundaries, streets, alleys, easements, areas to be reserved for public use, and other important features; the lines, angles, dimensions, state plane coordinates, bearings; areas and numbers of all lots, blocks and parts reserved for any reason within the subdivision. All dimensions shall be determined by an accurate field survey which shall balance and close as required by the county;~~
- ~~— 3. All lots and blocks are to be numbered, addressed, and named in accordance with the street numbering and naming system assigned by the City Engineer;~~
- ~~— 4. A statement that "All culinary water and pressurized irrigation lines up to and including the meter, all sanitary sewer mains, all electric meters, and all electric and SFCN communication service lines up to the mast on overhead installations and to the top of the meter base for underground installations are dedicated to Spanish Fork City.;"~~
- ~~— 5. Plats and signatures shall be in waterproof ink on a 24x36 inch mylar sheet. There shall be an unencumbered margin of one and one-half inches on the left-hand side of the sheet and not less than a half inch margin around the outer three sides of the sheets. The scale shall be a standard~~

- engineering scale of no more than 100 feet to the inch;
- 6. A stamp and signature of a surveyor licensed in the state of Utah;
  - 7. A statement that “All public utility easements platted hereon are in perpetuity for installation, maintenance, repair, and replacement of public utilities, sidewalks, and appurtenant parts thereof and the right to reasonable access to grantor’s property for the above described purposes. The easement shall run with the real property and shall be binding upon the grantor and the grantor’s successors, heirs and assigns;
  - 8. All building permits for this subdivision shall comply with the Development Soils Report and Mass Grading Plan. Elevation certificates shall be reviewed and approved by the City Engineer or his/her designee as required;
  - 9. The date of preparation, a standard engineering scale of not more than 100 feet to the inch, a north arrow, and a vicinity map;
  - 10. All off site easements required to provide services or utilities to the project shall be recorded with the Utah County Recorder’s office prior or in conjunction with the final plat recordation;
- B. ~~Construction Plans.~~ A complete set of construction plans must be submitted with all Final Plats. Construction plans must conform to the standards for construction plans found in the Improvement and Design Requirements section;
- C. ~~Soils Reports.~~ Final plat soils report shall provide a detail of lot by lot summary addressing finished floor elevation including basements. Report shall include a minimum height factor for a peak month in a wet year, and also address all Hillside Development Standards;
- D. ~~Storm Water Plan.~~ Developer shall provide a final drainage plan and report according to the Storm Water Drainage Design Manual;
- E. ~~Mass Grading Plan.~~ Developer shall provide a final subdivision grading plan showing each individual property. The site shall be designed to eliminate flooding or standing water on any private property; \_\_\_\_\_

**Chapter 39.15. — Site Plans:**

**39.15.010. — General:**

— A. Time Limitation for Completion:

**39.15.020. — Filing:**

— A. Submission:

— B. Review:

**39.15.030. — Form and Contents:**

— A. Site Plan:

— B. Construction Plans:

— C. Easements and Deeds:

— D. Soils Report:

— E. Storm Water Plan:

— F. Elevations:

— G. Landscaping Plan:

— H. Site Grading Plan:

— I. Other Jurisdictional Approvals:

**39.15.010. — General:**

— A. Time Limitation for Completion: All City improvements required for a site plan must be completed within one year of the date of approval by the Development Review Committee.

— Improvements which are not completed within the time limitation imposed herein shall work a forfeiture of any bond or surety which shall have been posted by the owner or subdivider.

**39.15.020. — Filing:**

— A. Submission: Developers should review conceptual plans with the City Planner before preparing Site plans. To apply for a Site plan, complete a Site plan application form. Forms are available at the City office or City website. Submit the completed form to the Community Development Department with a 24x36 inch copy of the Site plan drawings folded to a 9x12 inch size so the name of the Site plan is visible.

— B. Review: The City will review the submission and notify the Developer of any changes that must be made. Developer shall provide a written response to all redlines corrected. Once these changes are made submit the following:

- 1. One 24x36 inch copy of the final plat and construction drawings stapled and folded to a 9 x 12 inch size so the name of the subdivision and plat is visible, the final plat on top;
- 2. One 11x17 inch copy of the Final Plat and construction drawings;
- 3. A computer aided design (CAD) file and a Portable Document Format (PDF) file of the plat must be submitted on a CD or by e-mail in an dwg or dxf format. The CAD file of the subdivision must be in the 1927 North American Datum (NAD27) or 1983 North American Datum (NAD

83) State Plane Coordinate System, Utah Central Zone, US Foot, with a tie to a section corner.

— If anything is submitted by e-mail the Community Development Department must be contacted for the proper e-mail address and for confirmation the e-mail was received.

— Once accepted by the Development Review Committee, four 24x36 inch copies, one clearly legible 11x17 inch copies and a CAD file of the plat must be submitted to the Community Development Department. Two 24x36 inch copies will be retained by the City, the other two 24x36 inch copies will be signed and stamped by the City and returned to the Developer. The Developer must insure that a copy of the signed and approved construction plans is on site at all times during construction.

**39.15.030. — Form and Contents:**

— A. Site plan: A Site plan shall contain the following information:

- 1. The proposed name of the development;
- 2. The names of all adjacent property owners;
- 3. A tie to a section corner. All horizontal data shall be based on the 1927 North American Datum (NAD27) or 1983 North American Datum (NAD 83) State Plane Coordinate System, Utah Central Zone, US Foot. Horizontal datum shall be clearly written on all plat drawings;
- 4. A statement that “All culinary water and pressurized irrigation lines up to and including the meter, all sanitary sewer mains, all electric meters, and all electric and SFCN communication service lines up to the mast on overhead installations and to the top of the meter base for underground installations are dedicated to Spanish Fork City.”;
- 5. A contour map with vertical intervals not to exceed two feet. Contours shall be clearly labeled. All vertical data shall be based on the 1929 North American Vertical Datum (NAVD29) or 1988 North American Vertical Datum (NAVD 88). Vertical datum shall be written on the plan; and
- 6. The location, areas, and principal dimension of all existing and proposed streets, alleys, easements, watercourses, flood zone areas, irrigation ditches, fence lines, utilities, buildings, public areas and any other important features within 200 feet of the site;
- 7. A table including the following:
  - a. Total area of site;
  - b. Total area of landscaping;
  - c. Total area and dimension of building;
  - d. Total developed and undeveloped area;
  - e. Total impervious area;
  - f. Total number of parking spaces;
  - g. Total number of handicap parking spaces;
  - h. Type of building construction for the Fire Code;

- ~~\_\_\_\_\_ i. Whether the building will have sprinklers inside for fire protection.~~
- ~~\_\_\_\_\_ j. Flood Zone;~~
- ~~\_\_\_\_\_ k. Finish floor elevation;~~
- ~~\_\_\_\_\_ l. Type of building and occupancy per International Building Code.~~
- ~~\_\_\_\_\_ 8. The date of preparation, a standard engineering scale of not more than 100 feet to the inch, a north arrow, and a vicinity map;~~
- ~~\_\_\_\_\_ 9. A stamp and signature of an engineer licensed in the state of Utah.~~
- ~~\_\_\_\_\_ B. Construction Plans. A complete set of construction plans must be submitted with each Site Plan. Construction plans must conform to the standards for construction plans found in the Improvement and Design Requirements section.~~
- ~~\_\_\_\_\_ C. Easements and Deeds. The Developer must provide the legal documents for all easements and deeds required by the City.~~
- ~~\_\_\_\_\_ D. Soils Report. The Developer must provide a detailed soils report addressing the following issues for the site: hill stabilization, road design, foundation design, groundwater impacts, and general soil stability. Report must be stamped and signed by a civil engineer licensed in the state of Utah.~~
- ~~\_\_\_\_\_ Whenever the soils report for a development requires foundation drains, a storm drain system with laterals to each foundation drain must be installed. Storm drain system must be at a lower elevation than the sewer system. All ground drain systems shall be approved by the City Engineer. Report shall include a minimum height factor for a peak month in a wet year for the lowest buildable floor elevation.~~
- ~~\_\_\_\_\_ E. Storm Water Plan. The Developer must provide a detailed storm water plan for the subdivision according to the storm water Drainage Design manual. This plan shall include all calculations showing that it meets all the requirements of the Standards and the Drainage Design manual. Plan and calculations required by Chapter 39-20: Improvement and Design Requirements must be stamped and signed by a Civil Engineer licensed in the state of Utah.~~
- ~~\_\_\_\_\_ F. Elevations. The Developer must provide a detailed elevation in color for all buildings for a Site Plan.~~
- ~~\_\_\_\_\_ G. Landscaping Plan. The Developer must provide a detailed landscape plan for the entire area of a Site Plan.~~
- ~~\_\_\_\_\_ H. Site Grading Plan. The Developer shall provide site grading plan with detailed elevations showing drainage of the property. Site shall be designed to eliminate drainage of water to adjacent properties. Site Grading Plan shall address soil types of material on the project site to ensure it is suitable for growth of landscaping and adequate percolation rates are applicable to the design.~~
- ~~\_\_\_\_\_ I. Other Jurisdictional Approvals. Developer shall acquire approvals from any agency or company having affected properties or utilities.~~

- B. Plan Sheets. Include the following on each plan sheet:
1. North Arrow;
  2. A standard engineering scale between 1 inch equals 10 feet and 60 feet. A scale of 1 inch equals 100 feet may be used on the plan view of the entire project if necessary to fit project on one sheet;
  3. Title block along right side of sheet with title of drawing in lower right corner. Include in title block:
    - a. Name of subdivision and plat or site plan;
    - b. Name of city;
    - c. Specific type of drawing (construction drawings, plan view, plan and profiles, off-site construction, detail drawings);
    - d. Name of engineer, surveyor, or firm preparing drawings;
    - e. Drawing number of total number of drawings;
  4. Also include the following with profile drawings:
    - a. Vertical scale of 1 inch equals 1, 2, 3, 4, 5, or 6 feet;
    - b. Reference to the vertical datum. The 1929 or 1988 North American Vertical Datum (NAVD29 or NAVD88) shall be used for all elevation data;
    - c. Benchmark location and elevation for checking construction;
    - d. Stationing aligned from plan view with the profile view;
    - e. Existing ground, ditch, and utility lines;
    - f. A sheet index on each sheet showing profiled area in relation to the overall project.

C. Electric and Communication Plans. Construction plans must include the location of all existing poles, transformers, secondary junction boxes, sectionalizers, overhead electrical wire and overhead communication cable. After plans are updated to meet the approval of the Development Review Committee, the Developer shall submit a computer aided design (CAD) file of the plans to the Energy Division. CAD file must be in a dwg or dxf format. Thereafter the energy division will design and make available plans for the proposed electric and communication lines for the development.

- D. Street, Parking Lot, and Driveway Plans. Include the following for curb, gutter, storm, land and groundwater drains, drainage structures, sidewalks, and street surfacing plans:
1. Plan and profile for top back of curb for each side of the street. Label profile line as top back of curb for both sides of street if it is the same;
  2. Stationing and top back of curb elevations with curve data for curb returns;

3. Flow direction and type of cross drainage structures at intersections with adequate flow line elevations;
4. Type of curb and gutter if other than the standard ~~thirty inch two foot~~ curb and gutter in the standard drawings;
5. Location and width of driveways;
6. Street cross sections with all proposed and existing utilities and base sections as per soils report and Construction and Development Standards;

E. Sanitary Sewer, Storm, Land and Groundwater Drain Plans. Include the following for sanitary sewer, storm, land and groundwater drain plans:

1. Plan and profile of all new and existing mains and manholes;
2. Box and manhole size, location, and elevations of flowlines and rim;
3. Location, size, grade, and type of pipe of new and existing mains;
4. Location of each lateral with distance stubbed back into property clearly drawn and dimensioned;
5. Storm water calculations for a 10, 25, and 100 year storm;
6. Storm inlet boxes shall be located on street corners and or property lines.

F. Culinary Drinking Water and Pressurized Irrigation Plans. Include the following for ~~culinary drinking~~ water and pressurized irrigation plans:

1. Location, size, and type of pipe of new and existing water mains;
2. Location of valves, fittings, hydrants, boxes, meters, and appurtenances;
3. Minimum cover;
4. Location of each lateral with distance stubbed back into property clearly drawn and dimensioned;
5. ~~Culinary Drinking~~ water shall be a maximum of 1500' or 50 connections without a complete loop system.

G. Landscaping Plans. For landscaping that will be maintained by the City or a homeowner's association submit one copy of the landscaping plans including all irrigation system layouts, details, legends, and drawings. These project plans shall meet the requirements of the Chapter 30.90. Landscaping and Chapter 30.95. Irrigation Sprinkler Systems.

H. Irrigation Canal and Pipe Plans. Plans that affect canals or irrigation pipes must be stamped approved by those responsible for their maintenance before they will be approved by the City.

### 39.20.030. Street Improvements.

A. General. The Developer shall construct all streets and appurtenances required for the development as specified by the City Council in accordance with the City Construction and Development Standards and/or other codes adopted by the City. The design and all street work shall be done as directed and under the supervision of the City Engineer or

his/her designee. No street shall serve over 50 units without a second improved access.

B. Cul-de-sacs. The maximum length of a cul-de-sac is 400 feet measured from the nearest right-of-way line of the adjoining street to the center of the cul-de-sac, and the minimum radius of the cul-de-sac is 60 feet at the property line.

C. Curbs, Gutters and Sidewalks. Curbs, gutters, and sidewalks shall be built along all public streets according to the standard drawings. All curbs, gutters, and sidewalks shall connect to existing curbs, gutters, and sidewalks within a reasonable area as determined by the City Engineer or his/her designee.

D. Partial-Streets Widths. In certain conditions, and when special approval is given, partial road widths may be allowed. A partial road width shall include half the road plus 10 feet. The road shall also include a 2 foot shoulder along the unfinished portion of the street with a minimum 3% slope away from the edge of pavement. All City improvements must be made in dedicated City right-of-way or public utility easements. "No Parking" signs shall be installed on the opposite side of the road from the development.

E. Driveway and Intersection Location. Driveways and street intersection locations shall be designed according to Spanish Fork City Transportation Master Plan. No driveways shall be constructed within the following distances from an adjoining street. These distances are from Top Back Curb (TBC) to the edge of driveway for accesses:

1. Along Local Streets:
  - 60' 34' from an adjoining local street,
  - 100' from adjoining collector/arterial (approach),
  - 120' from adjoining collector/arterial (departure).

Curb cuts shall only be allowed for driveways. Driveways shall be a minimum of 3 feet from any above grade utility box. All accesses and streets onto collectors and arterials must be approved by the City Engineer or his/her designee.

F. Parking. Parking shall meet the requirements of the zoning ordinance and standard drawings.

G. Reverse Frontage Lots. New residential developments shall not be designed to allow direct access from individual lots or dwelling units to collector streets or larger.

Masonry walls shall be provided along the sides of residential developments, which have reverse or side frontage to arterial streets, collector streets or interstates. The walls will be of decorative block, brick, or similar materials together with design elements such as columns, capping, inlays, and variations in materials. The material, style, and color of the wall must be reviewed and approved by the City Engineer or his/her designee. The wall shall be constructed according to a design stamped by a licensed

professional civil engineer and City construction standards. The City Council may waive this requirement in those instances where the height of the interstate, arterial street, or collector street is significantly higher than the top of the wall. The City Council may also waive the requirement for a masonry fence if a park or open space area is adjacent to such streets. The Council may waive all fencing requirements or impose non-sight obscuring fencing, at their sole discretion.

H. Temporary Turn-Arounds. Temporary turn-arounds are to be provided on all streets which extend more than one lot from an intersection. These are to be recorded as easements. They shall be ~~84~~ 96 feet in diameter and consist of a minimum of 8 inches of compacted road base.

I. Allowable Grades. The maximum grade allowed for any City street is 8.0% unless otherwise approved by the City Engineer or his/her designee. In no case shall grades greater than 12.0% be allowed. The minimum grade allowed for any City street 0.45%.

J. Stamped Concrete. The color and pattern of stamped concrete shall be approved by the Development Review Committee.

K. Precast Concrete or Block Walls. The design of all walls must be approved by the Development Review Committee. Design must be stamped and signed by a licensed professional civil engineer registered in the state of Utah.

L. Pedestrian Ramps. Pedestrian ramps shall be placed at all corners of intersections and at all other locations of regular pedestrian traffic across roads as determined by the City Engineer or his/her designee. All ramps shall conform with the requirements of the Americans with Disabilities Act and City standards.

M. Horizontal and Vertical Curve. Horizontal and vertical curve alignments shall be determined by AASHTO Geometric Design of Highways and Streets (Greenbook) and additional ASSHTO design standards.

#### **39.20.040. Utility Improvements.**

A. General. It shall be the responsibility of the Developer to connect to existing utilities or improvements wherever they are located and extend those improvements to and through the development.

Workmanship and details of construction shall be in accordance with the City Construction and Development Standards and/or other codes adopted by the City. All work shall be done under the supervision of the City Engineer or his/her designee.

B. Communication. Communication lines shall be underground except when the City Engineer or his/her designee feels that such underground lines are not in the best interest of the City.

C. Electric. Electrical lines shall be underground except when the City Engineer or his/her designee feels that such underground lines are not in the best interest of the City.

PORTLAND CEMENT CONCRETE  
COMPRESSIVE STRENGTH PAY FACTORS

Pay Factor	Tolerance (psi below 28 day specified strength)
0.98	1 to 100
0.94	101 to 200
0.88	201 to 300
0.80	301 to 400
0.50	401 to 600
Replace	More than 600

These pay factors may not be applied toward concrete in structures.

D. Forms and String Line Inspection. The City shall inspect all forms and string lines before concrete may be placed.

E. Gutter Drainage Inspection. The City shall inspect all gutters for drainage prior to paving. Water shall be let into all gutters and any gutters with standing water in excess of 1/4 inch after runoff shall be replaced. Contractor must supply water truck for gutter drainage inspection.

F. Thickness Test. The City shall determine the number, if any, and location of core tests necessary to ensure the proper thickness of portland cement concrete. Tests shall be taken at equal intervals in a test area. A test area shall be defined as a total area placed at the same time and by the same process. The average thickness shall then be determined from all the cores taken. Tests shall be taken and verified by a certified testing lab contracting to the City.

When the average thickness is more than 0.25 inches below the specified thickness, a minimum of 1 core per 1,500 square feet of pavement shall be taken. Work with sub-standard thickness may be accepted at reduced price if the appropriate pay factor for the lowest tested thickness is applied to all of the sub-standard work. The following table outlines the pay factors for sub-standard portland cement concrete thickness:

PORTLAND CEMENT CONCRETE  
THICKNESS PAY FACTORS

Pay Factor	Tolerance (inches below specified thickness)
1.00	0.00 to 0.25
0.90	0.26 to 0.50
0.70	0.51 to 0.75
0.50	0.76 to 1.00
Replace	More than 1.00

G. Curing Inspection. The City shall inspect the curing of all portland cement concrete work within 24 hours of pouring the concrete.

**39.25.070. Pressurized Irrigation.**

A. General. The inspections and tests in this section are required for all pressurized irrigation construction in the City boundaries and on all construction relating to the City pressurized irrigation system outside the city boundaries.

B. Main Line Inspection. The City must inspect all pressurized irrigation main line installation on an ongoing basis. Inspection notification must be given before any construction of the main line may begin. All crosses, tees, bends, valves, and drains must be inspected and surveyed by the City before they are backfilled.

C. Pressurized Irrigation Service Inspection. The City must inspect all pressurized irrigation services before service trenches are backfilled. The City must be able to survey services at the main during the inspection.

D. Pressure Test. The Contractor must pressure test all pressurized irrigation systems, system extensions and service laterals to the setter in the presence of the City Engineer or his/her designee or have tests documented and submitted by a certified testing company approved by the City. ~~A minimum pressure of 225 psi shall be maintained on the portion being tested for a minimum period of 2 hours, using either pneumatic or hydraulic means to maintain the pressure.~~ Pressure tests must meet the requirements and specifications of APWA 33 08 00 (Commissioning of Water Utilities).

E. Leakage Test. Leakage tests shall be conducted concurrently with the pressure tests. Leakage shall be defined as the quantity of water that must be supplied into the newly laid pipe, or any valved section thereof, to maintain pressure within 5 psi of the specified test pressure after the air in the pipeline has been expelled and the pipe has been filled with water.

a 11x17 copy of the plans. All manholes in the log report must reference the labeled manholes numbers on the plans. Each manhole must also have a street address clearly shown on the log report.

Log reports must be submitted with a 11x17 copy of the plans. All manholes in the log report must reference the labeled manholes numbers on the plans. Each manhole must also have a street address clearly shown on the log report.

**39.25.100. Streets.**

A. Bituminous Pavement Material Tests. Material tests will be conducted by the City when the City Engineer or his/her designee considers it necessary.

B. Compaction Tests. The City will test all bituminous pavement for compaction and moisture content. Test locations shall be determined by the City but will generally be taken 3 per 200 lineal foot of street or 1 per 2,000 square foot of paved area. Pay factors as per APWA 32 12 16 (Plant-Mix Asphalt Paving) shall apply.

C. Grading Inspections. The sub-grade, sub-base, and road base shall all be graded to an engineered red-head and accepted by Spanish Fork City. Red-heads shall be placed every 50 feet at the crown of the road. If the distance between red-heads and edge of pavement exceeds 25 feet additional redheads shall be installed half way between the crown and edge of pavement. Red-heads shall also be placed every 50 feet at the edge of pavement where there is no curb and gutter.

D. Thickness Test. Material depth tests will be conducted by the City when the City Engineer or his/her designee considers it necessary. The total depth shall be reasonably close to that shown on the typical section. Depth analysis shall be made on at least four holes for each section. Base thickness shall be accepted if 75% of the test holes are less than 1/4" below the specified thickness and no individual hole shall be more than 3/4" below the specified thickness. Work with sub-standard thickness may be accepted at reduced price if the appropriate pay factor for the lowest tested thickness is applied to all of the sub-standard work. The following table outlines the pay factors for sub-standard asphalt pavement thickness:

PAVEMENT DEPTH PAY FACTORS	
Pay Factor	Tolerance (inches below specified thickness)
0.95	0.00 to 0.25
0.90	0.26 to 0.50
0.70	0.51 to 0.75
0.50	0.76 to 1.00

Replace	More than 1.00
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E. Profile Tolerance Inspection. Profile tolerance inspections may be required by the City any time within a year of paving. The maximum vertical distance from the pavement surface to a straight edge for a local streets is:

1. 1/4-inch in 10-feet parallel to centerline.
2. 3/8-inch in 10-feet perpendicular to centerline except at cross section grade breaks.

Collector and arterial streets shall meet the requirements of APWA 32 12 16 (Plant-Mix Asphalt Paving).

F. Asphalt Concrete Temperature Test. This test shall be conducted on the first load of asphalt concrete installed, and on any future loads as required by the City. Test shall be conducted according to the requirements and specifications of APWA 32 12 16 (Plant-Mix Asphalt Concrete Paving). Temperature gauge shall be allowed to stabilize for 1 minute before taking reading.

G. Asphalt Paving Limitations: *Pave according to Section 02741 Part 3.8 of the 2012 Standard Specifications for Road and Bridge Construction published by the Utah Department of Transportation (UDOT) unless otherwise approved by the City Engineer or his/her designee. Do not place HMA on frozen base or during adverse climatic conditions such as precipitation or when roadway surface is icy or wet. Use a release agent that does not dissolve asphalt and is acceptable to the City Engineer or his/her designee for all equipment and hand tools used to mix, haul, and place the HMA. Place HMA between April 15 and October 15, and when the air temperature in the shade and the roadway surface temperature are above 50 degrees F.*

**39.25.110. Culinary Drinking Water.**

A. General. The inspections and tests in this section are required for all **culinary drinking** water construction in the City boundaries and on all construction relating to the City **culinary drinking** water system outside the city boundaries.

B. Main Line Inspection. The City must inspect all **culinary drinking** water main line installations on an ongoing basis. Inspection notification must be given before any construction of main line may begin. All crosses, tees, bends, valves and hydrants must be inspected and surveyed by the City before they are backfilled.

C. Culinary Drinking Water Service Inspection. The City must inspect all **culinary drinking** water services before service trenches are backfilled. The City must be able to survey services at the main during the inspection.

D. High Chlorine Test. High Chlorine tests shall meet the requirements and specifications of APWA 33 13 00 (Disinfection). The City must conduct a high chlorine test at every hydrant on a new **culinary drinking** water main installation. If a hydrant does not exist on the test section, tests must be taken at the end of each line. The chlorine residual shall be at least 25 mg/L.

**Chapter 39.40. Culinary Drinking Water.****39.40.010. General.**

- A. Specifications.
- B. Pipe.
- C. Size.
- D. Location.
- E. Unusual Piping and Plumbing.

**39.40.020. Installation.**

- A. General.
- B. Pipe Cleanliness.
- C. Identification Tape.
- D. Lateral Displacement.
- E. Restraining.
- F. Connections to Existing Culinary Drinking Water

Lines.**39.40.030. Pipe and Fittings.**

- A. General.
- B. Polyvinyl Chloride Pipe (PVC).
- C. Ductile Iron Pipe.
- D. Polyethylene Pipe.
- E. Steel Pipe - Lined and Coated.
- F. Fittings

**39.40.040. Valves and Couplings.**

- A. General.
- B. Resilient Seated Gate Valve.
- C. Butterfly Valve.
- D. Valve Boxes.
- E. Couplings.
- F. Pressure Regulation Valves.
- G. Tapping Valves.
- H. Air Vacuum and Release Valves.

**39.40.050. Fire Hydrants.**

- A. General.
- B. Placement and Location.

**39.40.060. Meters and Services.**

- A. General.
- B. Placement and Location.
- C. Meters.

**39.40.070. Flushing.**

- A. General.
- B. Velocity.

**39.40.080. Disinfection of Culinary Drinking Water Lines.**

- A. Cleaning.
- B. Methods.

**39.40.010. General.**

A. Specifications. These specifications cover the installation of **culinary drinking** water lines. See Chapter 39.20. for improvement and design requirements, Chapter 39.25. for inspection and testing requirements, and Chapter 39.35. for earthwork and trench requirements. See standard drawings related to water.

B. Pipe. ~~Polyvinyl chloride (PVC) pipe shall be used for all culinary water mains unless authorized by the City Engineer or his/her designee.~~ **Polyvinyl Chloride (PVC)** pipe shall be used for all drinking water mains 12 inches in diameter and smaller unless otherwise authorized by the City Engineer or his/her designee. Ductile iron, PVC, or polyethylene pipe shall be used for culinary drinking water mains larger than 12 inches in diameter as approved by the City Engineer of his/her designee. Only PVC or polyethylene pipe may be used in corrosive soils.

C. Size. The City Engineer or his/her designee must approve the sizes of all proposed **culinary drinking** water lines. The minimum size of **culinary drinking** water pipe is 8 inch diameter for main lines and 1 inch diameter for services.

D. Location. **Culinary Drinking** water mains shall be located on either the north or east sides of a street 10 feet from the centerline. See standard drawings for utility locations.

E. Unusual Piping and Plumbing. Special and unusual piping and plumbing for equipment or structures are treated as separate items and are not included in these standards. They shall be approved by the City Engineer or his/her designee.

**39.40.020. Installation.**

A. General. **Culinary Drinking** water distribution and transmission systems shall be installed according to the requirements and specifications of APWA 33 11 00 (Water Distribution and Transmission). PVC pipe shall also be installed according to the requirements and specifications of AWWA C605.

B. Pipe Cleanliness. All foreign matter or dirt shall be removed from the inside of the pipe before it is placed and it shall be kept clean during and after laying. No debris, tools, or other materials shall be placed in the pipe during laying operations. When laying of pipe is not in progress, the pipe shall be closed by a water-tight plug.

C. Identification Tape. All **culinary drinking** water mains shall be installed with identification tape that meets the requirements and specifications of APWA 33 05 20 (Backfilling Trenches). Tape shall be buried 12 inches below grade.

D. Lateral Displacement. All pipes shall be protected from lateral displacement resulting from impact or unbalanced loading during backfilling operations.

E. Restraining. Either thrust blocks or mechanical restraining devices shall be used for all tees, valves, plugs, caps and bends. Restraining shall be accomplished according to the standard drawings.

F. Connections to Existing Culinary Drinking Water Lines. The Contractor will be responsible to verify actual size, type of material and location of existing utilities in the field. The fittings and materials required for construction must be approved by the City Engineer or his/her designee.

Where fitting sizes, such as tees and crosses, are shown on the plans, those sizes will be used. However, no attempt has been made to show all needed fittings or materials.

Tapping tees may only be installed when authorized by the City Engineer or his/her designee and when the existing main is at least one size smaller than the proposed main.

#### 39.40.030. Pipe and Fittings.

~~A. General. Polyvinyl Chloride (PVC) pipe shall be used for all culinary water mains 24 inches in diameter and smaller unless otherwise authorized by the City Engineer or his/her designee. Ductile iron or polyethylene pipe shall be used for culinary water mains larger than 12 inches in diameter. Only PVC or polyethylene pipe may be used in corrosive soils.~~

~~B. A. Polyvinyl Chloride Pipe (PVC).~~ PVC pipe shall meet the standards and specifications of APWA 33 05 07 (Polyvinyl Chloride Pipe), AWWA C900 and C905. Only blue or white, SDR-18 pressure class 150 psi PVC pipe may be used for ~~culinary~~ **drinking** water mains.

~~C. B. Ductile Iron Pipe.~~ Ductile iron pipe shall meet the standards and specifications of APWA 33 05 05 (Ductile Iron Pipe). Only a pressure class of 150 psi or larger may be used. A tubular black polyethylene encasement must be installed according to AWWA C105 over all ductile iron pipe and fittings. Flanges, when required, shall meet the requirements and specifications of AWWA C115.

~~D. C. Polyethylene Pipe.~~ Polyethylene pipe shall meet the standards and specifications of APWA 33 05 06 (Polyethylene Pipe) **and AWWA C906 which includes NSF-61 certification..**

~~E. D. Steel Pipe - Lined and Coated.~~ Steel pipe shall meet the standards and specifications of APWA 33 05 09 (Steel Pipe - Lined and Coated).

~~F. E. Fittings.~~ Use Ductile Iron fittings that conform to the provisions of ANSI/AWWA C110/A21.10 or C153/A21.53 unless otherwise recommended by the manufacturer and authorized by the City Engineer or his/her designee. All PVC pipe being inserted into fittings shall have the bevel end removed. All the bolts and nuts of all fittings shall be greased. All fittings shall have an 8 mil vinyl wrap plastic cover.

Minimum pressure Class will be 250 for pipes larger than 12 inch diameter. Pipes of 12 inch diameter and smaller shall be pressure Class 350.

#### 39.40.040. Valves and Couplings.

A. ~~General.~~ All valves shall meet the requirements of **APWA 33 11 00 (Water Distribution and Transmission) and APWA 33 12 16 (Water Valves).**

B. ~~Resilient Seated Gate Valve.~~ All valves on 4 inch to 10 inch ~~culinary~~ **drinking** water mains shall be resilient seated gate valves. Valves shall also be of iron body have non-rising bronze stems and meet the following specifications:

1. *Mechanical Joint.* When valves are Mechanical Joint, they shall be furnished with all necessary glands, followers, and bolts and nuts to complete installation.

2. *Valve Stems.* Bronze valve stems shall be interchangeable with stems of the double disc valves of the same size, direction of opening and manufacture.

C. *Butterfly Valve.* All valves 12 inches and larger shall be butterfly valves which meet the requirements and specifications of APWA 33 11 00 (Water Distribution and Transmission) and APWA 33 12 16 (Water Valves) and the following specifications:

1. *General.* Valve bodies shall be cast iron, ASTM A-126 Class B. Body ends shall be flanged with facing and drilling in accordance with ANSI B16.1, Class 125; or mechanical joint in accordance with AWWA C111. All mechanical joint end valves shall be furnished complete with joint accessories (bolts, nuts, gaskets, and glands). All valves shall conform with AWWA Standard C-504, Table 3, Laying Lengths for Flanged Valves and Minimum Body Shell Thickness for all Body Types.

2. *Disc.* Valve disc shall be ductile iron ASTM A-536, grade 65-45-12. Valve disc shall be of the offset design providing 360 degree uninterrupted seating.

3. *Shaft Bearings.* Shaft bearings shall be contained in the integral hubs of the valve body and shall be self-lubricated sleeve type.

4. *Coating.* All valves shall be coated with epoxy in conformance to AWWA Standard C-550, latest revision. Interior wetted ferrous surfaces shall be coated a nominal 10 mils thick for long life; and body exterior shall have a minimum of 3 to 4 mils coating thickness in order to provide superior base for field-applied finish coats.

D. *Valve Boxes.* Valves shall be bolted to the cross in the intersection of streets as a cluster valve set. Earth fill shall be carefully tamped around the valve box to a distance of 4 feet on all sides of the box, or to the undisturbed trench face if less than 4 feet.

All top of valve boxes located in streets shall be installed 1/4 inch below grade. When a 1 inch overlay is required a year after the road construction, the pavement surrounding the valve box shall be neatly cut to form a 30 inch round opening with the valve box centered, and a concrete collar shall be cast around the box 1/4 inch below grade and the valve box set 1/2 inch below grade. Valve boxes in off-road areas shall extend 6 inches above grade. Lid detail shall be similar to Comco C-6517.

E. *Couplings.* Couplings shall be equal to the product of Smith-Blair or Dresser with cast iron couplings being used on all cast iron and PVC pipe. Couplings shall be of

**Chapter 39.45. Pressurized Irrigation.****39.45.010. General.**

- A. Specifications.
- B. Pipe.
- C. Size.
- D. Location.
- E. Unusual Piping and Plumbing.

**39.45.020. Installation.**

- A. General.
- B. Pipe Cleanliness.
- C. Minimum Cover.
- D. Identification Tape.
- E. Lateral Displacement.
- F. Restraining.
- G. Connections to Existing Pressurized Irrigation Lines.

**39.45.030. Pipe and Fittings.**

- A. General
- B. Polyvinyl Chloride Pipe (PVC).
- C. Ductile Iron Pipe.
- D. Polyethylene Pipe.
- E. Steel Pipe - Lined and Coated.
- F. Fittings

**39.45.040. Valves and Couplings.**

- A. General.
- B. Resilient Seated Gate Valve.
- C. Butterfly Valve.
- D. Valve Boxes.
- E. Couplings.
- F. Pressure Regulation Valves.
- G. Tapping Valves.
- H. Air, Vacuum and Release Valves.

**39.45.050. Meters, Boxes and Services.**

- A. General.
- B. Placement and Location.
- C. Meters and Boxes.
- D. Polyethylene Pipe.

**39.45.060. Flushing.**

- A. General.
- B. Velocity.

**39.45.010. General.**

A. Specifications. These specifications cover the installation of pressurized irrigation lines. See Chapter 39.20. for improvement and design requirements, Chapter 39.25. for inspection and testing requirements, and Chapter 39.35. for earthwork and trench requirements. See standard drawings related to pressurized irrigation.

B. Pipe. Polyvinyl chloride (PVC) pipe shall be used for all pressurized irrigation mains unless authorized by the City Engineer or his/her designee. Polyvinyl Chloride (PVC) pipe shall be used for all pressurized irrigation mains 12 inches in diameter and smaller unless otherwise authorized by the City Engineer or his/her designee. Ductile iron, PVC, or

polyethylene pipe shall be used for pressurized irrigation mains larger than 12 inches in diameter as approved by the City Engineer or his/her designee. Only PVC or polyethylene pipe may be used in corrosive soils.

C. Size. The City Engineer or his/her designee must approve the sizes of all proposed pressurized irrigation lines. The minimum size of pressurized irrigation pipe is 6 inch diameter for main lines and 1 inch diameter for services. A dual service shall be 1½" to the service tee.

D. Location. Pressurized irrigation mains shall be located on either the south or west sides of a street 5 feet from the centerline. See standard drawings for utility locations.

E. Unusual Piping and Plumbing. Special and unusual piping and plumbing for equipment or structures are treated as separate items and are not included in these standards.

Tapping tees may only be installed when authorized by the City Engineer or his/her designee and when the existing main is at least one size smaller than the proposed main.

**39.45.020. Installation.**

A. General. Pressurized irrigation distribution and transmission systems shall be installed according to the requirements and specifications of APWA 33 11 00 (Water Distribution and Transmission). PVC pipe shall also be installed according to the requirements and specifications of AWWA C605.

B. Pipe Cleanliness. All foreign matter or dirt shall be removed from the inside of the pipe before it is placed and it shall be kept clean during and after laying. No debris, tools, or other materials shall be placed in the pipe during laying operations. When laying of pipe is not in progress, the pipe shall be closed by a water-tight plug.

C. Minimum Cover. All pressurized irrigation mains shall have a minimum cover of 2 feet to the top of the pipe.

D. Identification Tape. All pressurized irrigation mains shall be installed with identification tape that meets the requirements and specifications of APWA 33 05 20 (Backfilling Trenches). Tape shall be buried 12 inches below grade.

E. Lateral Displacement. All pipes shall be protected from lateral displacement resulting from impact or unbalanced loading during backfilling operations.

F. Restraining. Either thrust blocks or mechanical restraining devices shall be used for all tees, valves, plugs, caps and bends. Restraining shall be accomplished according to the standard drawings.

G. Connections to Existing Pressurized Irrigation Lines. The Contractor will be responsible to verify actual size, type of material and location of existing utilities in the field. The fittings and materials required for construction must be approved by the City Engineer or his/her designee.

Where fitting sizes, such as tees and crosses, are shown on the plans, those sizes will be used. However, no attempt has been made to show all needed fittings or materials.

**Policy 39**

**CONSTRUCTION AND DEVELOPMENT STANDARDS**

Spanish Fork City

Revisions, if needed, must also include the date the revision was approved.

**H. Electrical Enclosure Working Space & Clearance.**

All electrical boxes shall have 12 feet clearance to the front and 3 feet clearance to the back and on either side. Secondary pedestals shall only require 3 feet of clearance on all sides. Switchgears shall have 12 feet clearance in front of the doors and 3 feet of clearance on the sides. Meters, metering cabinets & enclosures, service disconnect cabinets & enclosures, & CT cabinets, shall have a minimum of 8 feet of clearance in front of said cabinets & enclosures. All electrical sectionalizers, transformers, switchgear, etc. shall have a clear and level working space around them. The area shall be backfilled and leveled a minimum of 12 feet in all directions from the respective electrical device.

Meters, meter cabinets, services and related electrical cabinets shall not be enclosed by carports, sheds, out buildings, additions or remodels or other such buildings. Spanish Fork **Electric Division** ~~Power~~ shall have ready access to such equipment for safety & maintenance. The City reserves the right to disconnect the City electrical service to meterbases, services, etc. if in the opinion of the City the service is inaccessible or unsafe until the service & safety issues are resolved to the City's satisfaction. This may include, but is not limited to; relocating the service, upgrading the service to meet current City codes.

**I. Overhead Electrical Power Line Clearances.**

As set forth in Section 54-8c-1 through Section 54-8c-7 of the Utah Code, no person or thing may be brought within 10 feet of any high voltage overhead power line unless:

The responsible party has notified the ~~Power Department~~ **Electric Division** or Utility operating the high voltage line of the intended activity; and

The responsible party and the ~~Power Department~~ **Electric Division** or Utility have completed mutually satisfactory safety precautions for the activity; and

The responsible party has made prior arrangements to pay the ~~Power Department~~ **Electric Division** or Utility for the mutually satisfactory safety precautions (if applicable)

No building, dwelling, sign, bridge, antennae, or structure shall be constructed, or placed underneath any overhead electrical power lines, and shall meet current NESC and City clearance requirements, both vertically and horizontally, from said power lines. Variances shall only be allowed at the City's discretion.

If existing buildings or structures exist under power lines, those same buildings or structures shall not be modified, remodeled or constructed so as to further encroach upon the clearances from said power lines.

In general, for overhead high voltage open supply conductors operating from 750 volts to 22,000 volts nominal, the space extending from grade level to the height of the conductor vertically and 15 feet horizontally from the further most outside conductor from the pole shall be kept clear from the power lines. Furthermore, for overhead high voltage open supply conductors operating from 22,001 volts to 46,000 volts nominal, the space extending from grade level to the

height of the conductor vertically, and 30 feet horizontally from the further most outside conductor from the pole shall be kept clear from the power lines. Open water, swimming pools, combustible materials or hazardous locations may have additional clearances required.

Additional clearances may be required depending on the installation or application.

**39.70.020. Voltage and Energy Regulation.**

**A. Available Voltages.**

**STANDARD ELECTRICAL SERVICES**

Residential	Commercial and Industrial
1 Phase	3 Phase
3 Wire	4 Wire
120/240 Volts	120/208Y or 277/480Y Volts

~~Standard residential service shall be 1 phase, 3 wire, 120/240 volt. Standard commercial and industrial service shall be 3 phase, 4 wire, 120/208Y volt, or 3 phase, 4 wire, 277/480Y volt. Developer must contact the City Engineer or his/her designee for the availability of other service options.~~

City Engineer or his/her designee reserves the right to deny a Customer 3-phase service if the City Engineer or his/her designee determines that single-phase service will adequately supply Customer's load requirements. City Engineer or his/her designee reserves the right to deny a Customer 1-phase service if the City Engineer or his/her designee determines 3-phase service is in the best interest and beneficial to the City's electrical system.

**B. 3 Phase Service.** 3 phase service may, at the City's option, be furnished where 3 phase facilities of adequate capacity are already installed immediately adjacent to the point where service is to be delivered to Customer, or where, as determined by City, it is economically feasible to extend such 3 phase facilities.

City reserves the right to refuse to extend or install 3 phase facilities to serve motors individually rated at 20 HP or less and to furnish only 1 phase service for such motors. In such an event, Customer may elect to install 1 phase to 3 phase conversion equipment to operate 3 phase motors.

**C. Power Factor Correction.** City reserves the right to require the Customer to install power factor corrective equipment. This equipment shall maintain the power factor on all of Customers electric power meters to not less than 90% lagging at all times.

**D. Load Control.** The City Engineer or his/her designee reserves the right to require developers to install equipment to limit load and reduce voltage fluctuations.

**E. Voltage Control.** Where Customer installs power factor corrective equipment, the City reserves the right to require Customer to install controls and equipment to prevent voltage,

2", 2½", 3" Service lateral	4 Feet
3 Inch Secondary	4 Feet
3 & 4 Inch Primary	5 4 Feet
4 Inch, 6 Inch Primary	6 Feet*

\* Depths may increase depending upon application.

D. Tracer Wire and Pull Strings. A 12 gauge solid THHN tracer wire shall be installed with all stubbed conduits according to standard drawings. All primary conduits shall have a 2500 lb. mule tape in the conduit securely tied off in each pad or enclosure.

E. Identification Tape and Stub Markers. All conduits shall have a caution tape taped directly on the conduit, and another tape buried 12 inches below grade. Tape shall meet the requirements and specifications of APWA 02320. The end of each stubbed conduit, including service laterals, shall be marked to the surface according to the standard drawings.

F. Underground Metal Conduit. All buried metal conduit shall be coated with anti-corrosion protective tape. Tape shall extend 6" above finished grade.

G. Berms, Slopes, and Hillside. For installation instructions around berms, slopes, and hillsides contact the City Electric Division.

H. Labels. An imprinted, plastic label shall be securely taped to the end of each conduit run where it emerges into any cabinet or enclosure. The label shall indicate whether the conduit run is primary or secondary, the direction & footage of conduit. The label shall also include the address of where the run ends.

**39.70.050. System Requirements.**

A. Additional Capacity Requirements. In the event a Customer makes application for additional capacity, subject to provisions of the applicable rate schedule, Customer shall install the necessary transformer capacity, service wires and other equipment required to adequately serve Customer's requirements.

All applications for service involving the furnishing of additional capacity or equipment by the City may be required of the Customer. The application shall state that any service entrance wiring and main switches required for the utilization of such additional capacity to be furnished by Customer, shall be considered as permanent fixtures belonging to the property being served and property except for replacement or enlargement if necessary.

B. Substations. Substation may be required of Customer. The City reserves the right, where unusual substation capacity or voltage is involved, to require the Customer to install the necessary complete substation as provided for in City's rate schedule. In such an event, the Customer will receive the substation ownership discount specified in the applicable rate schedule.

Where the Customer furnished the necessary complete substation equipment to take service at primary service voltage, such equipment shall be owned and maintained by the Customer and shall include the necessary transformers, structure, controls, and protective equipment, and shall be of such quality and construction as meets City approval.

**39.70.060. Services**

A. Point of Service. The City Engineer or his/her designee determines the point of delivery for all developments. City Engineer or his/her designee reserves the right to meter service at either primary or secondary voltage. For large or unusual loads, City Engineer or his/her designee reserves the right to require Customer to take service at primary voltage and to require Customer to furnish the necessary complete substation equipment. In such an event, the substation ownership discount shall apply. The City Engineer or his/her designee will decide if multiple buildings, business and residential, or portions of buildings will be metered from one or from multiple metering points. Each building or structure served shall be supplied by only one service. Multiple services are only allowed at the City Engineer or his/her designee's discretion.

B. Service Entrance Requirements. The service entrance shall be defined as the facilities that consist of approved service entrance conduit and cable enclosing conductors and appurtenances. Said conductors shall extend from the point of contact with the City's secondary point of service and thence to and including Customer's service entrance safety switch or disconnection means.

Customer shall install all conduit and wire from the building to the pole or transformer according to the City standards.

1. Service Entrance Safety Switch or Main Disconnect. A residential service safety switch shall be a combination meter base and main disconnect device. For commercial & industrial installations a service safety switch shall be an **exterior service main disconnect device or devices, which will remain accessible at all times.** This device shall be a main breaker, but minimum requirement shall be a safety switch, which will disconnect all service power from the premise wiring to the entire facility. The location of the main disconnecting device shall be approved by the City.

2. Identification. (Current NEC\*)  
\* Where a building or structure is supplied by more than one service, or any combination of branch circuits, feeders, and services, a permanent plaque or directory shall be installed at each service disconnect location denoting all other services, feeders, and branch circuits supplying that building or structure and the area served by each.
3. Service Entrance Conductors. All service entrance conductors and any conduit enclosure shall be

continuous, unbroken, and completely exposed for external inspection throughout their entire length, extending from said point of contact with City's service wires to the meter socket (or meter cabinet if installed) and thence to Customer's service entry safety switch or main disconnecting means. Service entrance conductor type & size shall meet current NEC, NESC, and City Standards.

Underground service lateral conductors from the City's Secondary service point up to the line side of the main disconnecting means shall be installed, maintained, and owned by the Customer. The City assumes no liability for replacement of secondary service lateral conductors.

C. Underground Residential Service Requirements

1. Conductor\*, conduit sizes, & conduit depths  
Refer to following table

Table 39.70.060.1C\*

Service Size	Service Conductor Size (AWG)	Conduit Size	Conduit Depth (ft)
100 amp	#2 alum.	2"	4'
125 amp	1/0 alum.	2"	4'
150 amp	2/0 alum.	2"	4'
200 amp	4/0 alum.	2 1/2"	4'
201- 400 amps	See <b>Electric Division Power Dept</b>		

\*Table 39.70.060.C Note: The current National Electric Code may supersede these conductor sizes based upon service size. Refer to current NEC for service conductor sizes for other types of conductors & installations.

2. Conduit. Only continuous factory lengths of conduit shall be used. Conduit may be cut or spliced, however the couplers & bends shall be kept to a minimum. Conduit shall be installed in a neat and workman-line manner. All service lateral conduits shall be inspected prior to backfilling.
3. Materials. Only electrical grade materials shall be used. Rigid metal conduits (RMC) & schedule 40 fiberglass shall be used for any elbows or bends 45 degrees or greater. RMC or schedule 40 fiberglass shall be coated with an anti-corrosion tape below grade and tape shall extend 6" above finished grade. RMC or schedule 40 fiberglass shall be used for all above grade service entrance conduits. Customer shall provide service wire from house to junction box, transformer or pole according to City standard drawings.
4. Trenching Service lateral trenches shall be 4' in depth. Trenches shall be as straight as possible from the secondary service point to the Customer disconnect or meterbase. The bottom of the trench shall be as level as possible and free from large rocks & debris. Backfill placed directly on conduits shall be free from large rocks.

5. Service Entrance Conduits Support and Attachments. Service Entrance conduits shall be securely attached to the foundation of house or building by means of unistrut, concrete anchors, and unistrut type clamps. Unistrut shall be securely attached to foundation by a minimum 3/8"x 3" concrete anchors. Unistrut shall be long enough to attach communications conduits, typically 36". **Communication conduits shall be spaced six inches apart and one foot to either side of the meter base.** Service entrance conduits shall be one continuous, unbroken conduit from the elbow to the point of attachment at the meterbase hub.
6. Location(s) Note: Refer to 39.70.070. Metering for additional requirements. Meter/main disconnect shall be located within the front 6' of the side of a residential dwelling. Meter/main disconnect shall be accessible at all times. Meter/main disconnect shall be kept a minimum of 36" of any natural gas meters, window wells, windows, doors, stairs and any material deemed to be combustible or hazardous. For remodels, service upgrades, building additions or other instances or applications affecting the existing electrical service, meterbase, meter and disconnect, contact the **Electric Division power Department** for requirements. The service, meter, meterbase, or disconnect may be required to be relocated to meet current Standards and Codes. Meter/main disconnect shall meet any and all applicable NEC, NESC codes. The City Engineer or his/her designee reserves the right to accept or reject any locations of meterbase/main disconnects.

D. Overhead Residential Service Requirements

1. General  
Overhead services shall also include mast knob and service grips. Wiring shall meet load and installation requirements as indicated in the NEC.
2. Service Drop Support and Attachments. For one story buildings, or where conditions will not permit proper ground clearance to be maintained by City's service wires, Customer shall install, at Customer's expense, suitable conduit or service entrance mast pipe or other structure or support that will properly support the City's service drop conductors and to maintain the minimum ground clearance as required by the NESC. If clearances cannot be met, the service may be required to be relocated or otherwise rerouted underground.
3. Service Entrance Weatherhead Clearance. The service entrance weatherhead shall be located so as to meet or to exceed NESC clearance from readily accessible windows, doors, or porches. The weatherhead must also be located so that when the service drop conductors are attached to the building structure or other service drop support, adequate

circuits of City's service are properly balanced at all times.

12. Temporary Service to be Installed on Customer's Pole. All such temporary service drops shall be supported on a pole or post as approved by City and shall be installed by Customer at his/her expense.

E. Underground Service Requirements for Multi-Family Dwelling Units

1. General. Service lateral conduits from the City's point of secondary service shall be 3 inch minimum for multi-family dwelling units. A load calculation study shall be performed for multi-family dwellings units and submitted to the **Electric Division power Department**. All other residential service requirements apply.

F. Underground Service Requirements for Commercial & Industrial Applications

1. General. Service entrance conductors & conduits shall be sized according to applicable NEC, NESC codes. The City shall approve all locations & installations of conduits, service disconnection means, and meters.

- A. All commercial & industrial buildings shall have an accessible, exterior main disconnecting means that is capable of disconnecting (opening) all service entrance conductors from the building or structure premises wiring.
- B. All services rated 801 amps or more supplied by a 4-wire three phase 277/480 volt wye connected system shall have a ground fault test performed for protection of equipment.
- C. All services, equipment, cabinets, conduits, etc. shall be grounded & bonded according to applicable NEC & City codes.
- D. The service disconnecting means shall be identified as suitable for use as service equipment.
- E. A building or structure may only be served by one service lateral or service drop, unless otherwise approved by the **Electric Division power Department**.
- F. There shall not be more than 6 service disconnects for each service. Each service shall be permanently marked to identify it as part of the service disconnecting means. All service disconnecting means for each service shall be grouped together.
- G. The center of the operating handle of switch or breaker, when in its highest position, shall not be more than 6 ft. 7 in. above finished grade.

2. Materials. Only electrical grade & listed materials shall be used. Rigid metal conduits (RMC) shall be used for any elbows or bends 45 degrees or greater. RMC shall be coated with an anti-corrosion tape below grade and tape shall extend 6" above finished grade. RMC shall be used for all above grade service entrance conduits. Customer shall provide service wire from building to utility transformer or pole. All electrical equipment, cabinets, panels, etc. shall be listed and approved for the installation.

3. Trenching. Service lateral trenches shall be 4' in depth. Trenches shall be as straight as possible from the secondary service point to the Customer disconnect or meterbase. The bottom of the trench shall be as level as possible and free from large rocks & debris

4. Service Entrance Conduits Support and Attachments. Service Entrance conduits shall be securely attached to the foundation of building by means of unistrut, concrete anchors, unistrut type clamps or other approved methods. Unistrut shall be securely attached to foundation by a minimum 3/8"x 3" concrete anchors. Service entrance conduits shall be one continuous, unbroken conduit from the elbow to the point of attachment at the meterbase, ct cabinet, or main disconnect cabinet. Service lateral conduits shall be installed at a depth of 4 feet to top of conduits. All installations shall be installed in a neat and workman-like manner.

5. Locations. Locations of service lateral conduits shall be approved by City Engineer or his/her designee. Locations of outside main disconnecting equipment shall be approved by City Engineer or his/her designee. Meter/main disconnect shall be accessible at all times. Meter/main disconnect shall be kept a minimum of 36" away from any natural gas meters, window wells, windows, doors, stairs and any material deemed to be combustible. Meter/main disconnect shall meet any and all applicable NEC, NESC codes. The City Engineer or his/her designee reserves the right to accept or reject any locations of meterbase main disconnects. If the City Engineer or his/her designee determines the service location is inaccessible or otherwise unsafe, the Customer shall relocate or upgrade service to City standards. The City Engineer or his/her designee further reserves the right to disconnect electrical power to the Customer's service until the service is brought into compliance.

6. Ownership of Conductors. For commercial underground installations the secondary service conductors shall be owned & maintained by the Customer from the secondary connections inside the transformer up to the termination point of the service disconnect. For commercial overhead installations the secondary service conductors shall be owned & maintained up to the overhead secondary connection point. City shall own the overhead drop up to the connections at the service mast.

**39.70.070. Metering.**

A. General. The City will furnish and install all electric revenue meters. Normally outdoor socket-mounted meters will be used by City whenever practical. The meter base will be furnished and installed by Customer's electrical contractor for all normal residential installations. The meter base with test switch shall be provided by City and installed by Customer's electrical contractor for commercial or industrial applications.

If instrument transformers are required, City reserves the right to require Customer to furnish and install a suitable steel cabinet to house City's instrument transformers and accessories. Said cabinet shall contain only the City's metering equipment and shall be equipped so that it can be sealed and locked by the City. The City shall have sole access to this cabinet.

**B. Location.** The City shall approve the location of service entrance and meter. The following conditions must be met for the location of all meters & services:

1. **Visibility.** All entrance wiring connections shall not be concealed and shall always be in plain view for inspection by City.
2. **Protection.** No meter or service equipment shall be installed in any location where it may be unnecessarily exposed to heat, cold, dampness or other cause of damage, or in any unduly dirty or inaccessible location.
3. **Height.** The meter socket shall be mounted at a height of not less than 4½ feet, no more than 6 feet above finished grade, as the case may be. Where multiple meters are installed, care shall be taken to ensure the lowest meter is no less than 4 ½' and no higher than 6' from finished grade.

When a combination 3 phase and 1 phase service is supplied to the same premises, all meters and service entrance switches shall be at the same location.

**C. Meter Base.** Residential meter bases shall be furnished and installed by the Contractor according to City standard drawings. No smaller than a 100 amp service entrance will be accepted other than by approval from the Electrical Superintendent. The meter base shall be kept sealed and under the control of the City at all times.

**D. Commercial Meters.** Single-phase and three-phase self-contained meter bases shall be installed by the Developer, and shall have bypass capability in the meter base. For details and specific information regarding this requirement, please contact the Electric Metering Office. For services rated 200 amps up to 800 amps, the Electric **Division Department** will supply the meterbase & test switch for contractor to install. For services rated over 800 amps, contact Electric **Division Department**.

The Contractor's portion shall be completely installed, inspected, and the electrical hook-up fee paid before the City will complete the final electrical hookup.

**E. Location of Multiple Meters.** Where more than one meter is required for a building, such as an apartment house, all of the meter sockets shall be located side by side at an outside location as determined by the City Engineer or his/her designee.

**F. Meter Location Regarding Remodeling.** When remodeling, where 2 or more houses or dwelling units are combined to form one building, the meter socket shall be moved to a single location. Meter and service locations shall first be approved by the **Electric Division Power Department**. Existing meters and services may require relocation to meet current City standards. In all remodeling where the meter is changed or moved, or wiring changes made, outdoor meter sockets and an approved new service entrance shall be installed by Customer at Customer's expense.

**G. Meter Accessibility.** In the event a structural change is made by the owner that results, in the opinion of City

Engineer or his/her designee, to be an undesirable meter location, the meter socket, meter cabinet, and/or service entrance installation shall be moved by the Customer at his/her expense to an accessible location as determined by City.

Whenever the construction of a building on an adjacent lot prevents proper access to any meter, or access to the point of attachment of service drop conductors, or results in inadequate service drop clearance, the Customer shall move, at Customer's expense, the meter socket and service entrance to a location that is acceptable to City. The meter shall not be enclosed by any portion of a building. The meter shall not be placed under carports or enclosed by sheds, garages, outbuildings or other buildings. The meter shall remain readily accessible to the City at all times.

**H. Outdoor Meters for Non-Residential General Service.** All single phase meters installed for Non-residential use shall be socket type. **The meterbase shall have bypass links installed.** The meter socket shall be furnished and installed by Customer at Customer's expense.

**I. Instrument Transformer Metering.** In all outdoor installations requiring current transformers, whether 1 phase or 3 phase, the Customer shall provide an approved meter loop for meter connections. The City shall furnish any instrument transformers, meter bases, or other devices required, to properly meter the Customer's electrical needs. Such instrument transformers and devices shall be installed by City.

**J. Current Transformer Cabinet.** Any cabinets required to house said instrument transformers and accessory equipment shall be furnished and installed by Customer at Customer's expense. This requirement applies to all installations. All cabinets shall be approved by City.

Such metering or instrument cabinets are for the exclusive use of City, and shall, at all times, be under the control of, and kept sealed by City.

#### **39.70.080. Lighting.**

**A. General.** The City shall provide the street light poles, fixtures & associated parts to install the street lights. The contractor is responsible for transport of the street lights from the City Public Works Department to their respective developments. Furthermore, the contractor shall be responsible for pouring the concrete bases, assembling and erecting the street lights. All street light bases shall be grouted and a rubbed finish shall be applied to the exposed base.

All local streets, minor & major collectors, and arterial streets shall have the decorative street light as shown in the standard drawings or as designed. ~~Major collectors and arterial street lights shall be a 250 watt high pressure sodium (HPS) fixture. Local streets shall be a 100 watt high pressure sodium fixture. All street light poles on any state road will be 45 foot steel galvanized pole with a 10 foot arm, and a 250 watt H.P.S. fixture, unless otherwise specified by the City.~~ 25-foot steel galvanized poles with a 6-foot arm, and either a 100 watt or a 250 watt **equivalent LED** cobrahead type fixture may be used or substituted for a decorative type pole & fixture at the City's discretion. All fixture types will be of the Luminaire type with 90 degree cutoff lens.

B. Location. In general, street lights will be installed at all intersections except where a four way intersection has an offset of less than 100 feet from another intersection. Street lights for local streets will be installed with a minimum of 250 300 feet and a maximum of 400 600 feet between. Any street that extends more than 600 feet without an intersection shall have street lights placed at equal intervals not to exceed 400 feet. All mid block street lights shall be installed 18 inches from a property line. Collector and arterial streets shall have lights spaced at 175 250 feet apart on alternating sides of the street. In addition to the typical location design and layout, street light locations may also be designed by the Electrical ~~Division~~ Department.

Each street light will be installed so that the street light pole is centered in the planter strip or within 18 inches of the sidewalk if no planter strip exists.

C. Orientation. Street lights at intersections of local streets shall aim to the center of the intersection. On collector or arterial streets street lights shall be set at a 90 degree angles at regular intervals determined by the City. The bolt pattern shall be oriented on a diamond to the street.

D. Grounding & Bonding. A bonding wire shall be connected from the rebar “Ufer” rings in the concrete pole base to the street light pole grounding/bonding screw or termination point using NEC approved methods and a separate grounding wire will be installed from the pole to the closest secondary pedestal or transformer. The grounding conductor shall be terminated with the neutral conductor.

E. Wiring & Fusing. A 10 amp in-line fuse & fuse holder shall be installed in the junction box or transformer, on the 120/240 volt ungrounded conductors.

## MINIMUM SLEEVE CONDUIT SIZES

Number of Wires	Conduit I.D.
1 to 7	1 inch
8 to 11	1 ½ inch
12 to 22	2 inch
23 to 31	2 ½ inch
32 to 36	3 inch

**39.95.030. Sprinkler Heads.**

A. General. Install according to APWA plan number 621 and 622, but do not install PVC elbow and riser.

B. Spray Heads. All spray type sprinkler heads shall be Rainbird "1800" series or approved equivalent. All lawn spray heads shall be installed on swing pipe with two spiral barbed ells.

C. Rotary Heads. All rotary type sprinkler heads shall be Hunter "T" series or approved equivalent. All stream rotary and impact heads capable of distributing 10 gallons per minute or more shall be installed on pre-assembled swing joint by Spears or an approved equivalent.

**39.95.040. Controller, Valves and Flow Meters.**

A. Controller. Controller and pedestal shall be the same type as those used in the City central control system. The controller shall be as described in the irrigation legend on the drawings.

B. Manual Main Line Isolation Valve. See standard drawing for pressure pipe main line valves.

C. Manual Circuit Isolation Valve. Brass ball valve with handle.

D. Automatic Valves. Automatic valves shall be Rainbird PEB Weathermatic electric remote control valves or an approved equivalent. A manual circuit isolation valve shall be installed on the supply side of each automatic valve. Install according to APWA plan number 633, but do not install schedule 80 PVC union.

E. Master Valves and Flow Meters. Master valves and flow meters must be installed on main supply line and/or according to design and must be compatible with the City central control system.

F. Automatic Drain Valves. Install according to APWA plan number 632.

G. Back Flow Preventer. Shall be required on connections to the culinary drinking water system. Install according to APWA standard plan number 631.

H. Stop and Waste Valves. Stop and waste valves shall be Mueller H - 10288 Oraseal or an approved equivalent. Stop and Waste valve shall be of manual type for operation by handle key.

I. Quick Coupler Valves. Quick coupler valves shall be installed with brass riser and pre-manufactured swing joint. At least 2 quick coupler valves shall be installed, one at each end of main line. Valves shall be 1 inch standard.

J. Valve Boxes. Valves shall be located in lawn or planted areas. Avoid locating valves in areas of high pedestrian and vehicular circulation. Valve boxes shall be at finished grade with valve stems 4 inches minimum and 12 inches maximum below top of box and with 3 inches of pea gravel or 3/4 inch minus crushed gravel under the valve. Valve boxes shall be rectangular, heavy duty and green in color. Valve boxes for automatic valves shall be large enough to enclose manual circuit isolation valve and automatic valve.

K. Control Wire. Install wire according to APWA plan number 651. Add two extra blue control wires per controller to the longest run for emergency use and mark it in the control box as an extra wire.

**39.95.070 . Installation.**

A. Schedule. Contractor shall submit a construction schedule of anticipated work time to facilitate timely visits for review of work. Schedule must be submitted to the City before any landscaping may begin

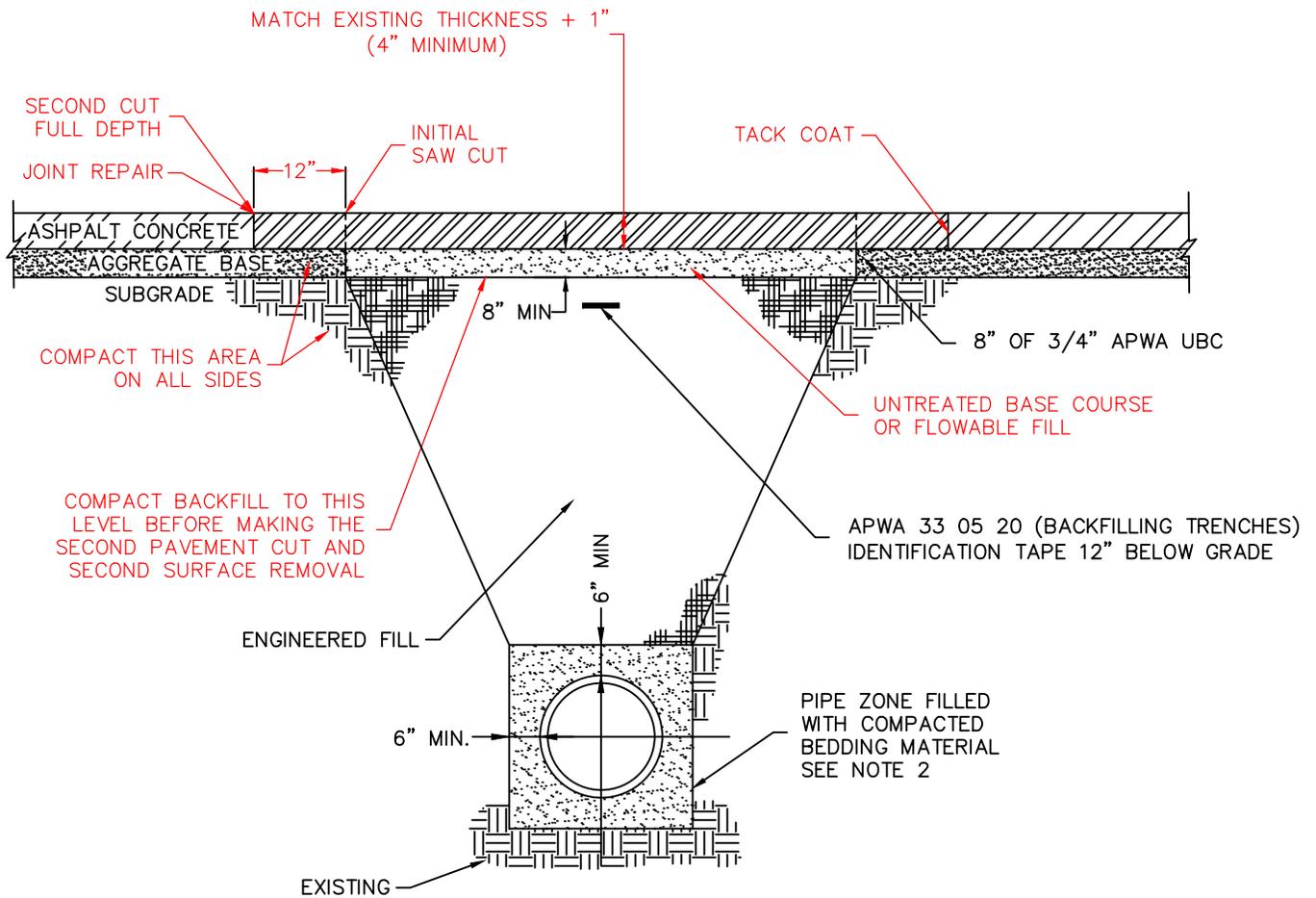
B. Depth and Location. Lines bordering curbs or sidewalks shall be 6 inches away to allow for maintenance and access to the lines. Control wires must be buried at least 12 inches below finished grade and bundled with a plastic tape every 20 feet.

C. Trench Backfill Material. All trenches shall be backfilled in 12 inch lifts and tamped sufficiently to insure no settling of the surface. No rocks larger than 1 inch shall be allowed within 3 inches of the pipe. The Contractor, in placing the irrigation lines, and appurtenances, may uncover material not suitable for finished grading. This material shall be removed from the site. After the installation of the lines, the finished grading shall be smoothed over and restored to its original condition, using additional topsoil where necessary.

D. Thrust Blocks. All mainlines greater than 2 inches in size shall be installed with thrust blocks wherever a change of direction occurs. Thrust blocks shall be installed as follows:

1. Bearing. Bearing area of concrete thrust-block based on 200-PSI pressure and safe soil bearing load of 2,000 pounds per square foot.
2. Concrete blocking shall be cast in place and have a minimum of 1/4 square foot bearing against the fittings.
3. Block shall bear against fittings only and shall be clear of joints.
4. Contractor shall install block adequate to withstand full test pressure as well as to continuously withstand operation pressure under all conditions of service.

E. Flushing. When the pipe lines are connected and the sprinkler risers in place but before any heads are installed, the control valves shall be opened and flushed with a full head of water to clean out the system.



**NOTES:**

1. PAVEMENT CUTS SHALL BE A MINIMUM OF 3' X 3' AND ALSO BE MADE 12 INCHES OUTSIDE THE EDGE OF TRENCH FOR TRENCHES DEEPER THAN 4 FEET.
2. BEDDING MATERIAL SHALL EXTEND A MINIMUM OF 3" BELOW THE PIPE. FOR CONCRETE PIPE LARGER THAN 24" I.D. A MINIMUM OF 6" OF BEDDING MATERIAL SHALL BE PLACED BELOW THE PIPE.
3. ASPHALT SHALL BE CUT TO THE SPECIFIED WIDTH DURING PIPELINE CONSTRUCTION AND SUBSURFACE RESTORATION. THE FINAL SAW-CUT SHALL BE AN ADDITIONAL 12" WIDER THAN THE EXISTING TRENCH ON EACH SIDE, REMOVING THE ASPHALT AND PROCEEDING WITH THE REMAINDER OF THE RESTORATION.

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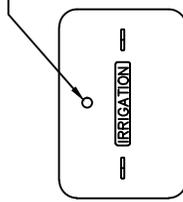
SPANISH FORK CITY  
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REVISION	DATE	BY

STANDARD DRAWING  
 ASPHALT RESTORATION  
 DEEP EXCAVATION & UTILITY POT HOLE REPAIR

SCALE  
 NONE  
 STANDARD  
 1 OF 68

1 7/8" HOLE THAT ALLOWS FOR THE INSTALLATION OF A TR PL PAD TOUCH READ DEVICE



2" TO 4" CLEARANCE TO TOP OF METER

1 1/2" SCH 40 PVC CONDUIT TO WATER METER

SEE NOTES 2 AND 3 FOR THE SPECIFICATIONS OF THE METER BOX

4" CLASS 200 PVC SOLVENT WELD PIPE OR APPROVED EQUIVALENT EXTEND 6" BEYOND EACH SIDE OF SIDEWALK

SIDEWALK

24"

18"

BOX

2" S/40 PVC SLIP CAP

2" X 24" S/80 PVC NIPPLE

8" OF 3/4"

CRUSHED GRAVEL

2" X 2" X 1/2" THD BRASS TEE WITH A KING MODEL 24181 1/2" MALE PIPE THREAD DRAIN AT A 30° ANGLE FROM STRAIGHT DOWN OR APPROVED EQUIVALENT

2" 7F FORD METER BR2 FLANGE WITH 2 X CLOSE BRASS NIPPLE

2" MUELLER H-10284 STOP & WASTE OR APPROVED EQUIVALENT

2" X CLOSE BRASS NIPPLE

16"

FORD 2" C84-77 MALE ADAPTER

2' MIN.

2" CONTINUOUS SDR-9 CTS 200 PSI PURPLE POLYPIPE

CONNECT 202B DOUBLE BRASS STRAP FORD SADDLE OR APPROVED EQUIVALENT ONTO PRESSURIZED IRRIGATION MAIN

NOTES:

- ADJUST ALL APPURTENANCES TO AN EQUIVALENT 1 1/2" SIZE FOR 1 1/2" SERVICES.
- FOR NON TRAFFIC AREAS, METER BOX SHALL BE A CARSON BROOKS 24X36 1730-18 BOX WITH A 1730-3B LID WITH A TOUCH READ HOLE FOR A TR PL PAD DEVICE OR APPROVED EQUIVALENT.
- FOR TRAFFIC AREAS, USE A CDR SYSTEMS CORP 24X36X18 FIBERGLASS REINFORCED POLYMER CONCRETE BOX WITH "IRRIGATION" MARKED ON THE LID WITH A TOUCH READ HOLE FOR A TR PL PAD DEVICE. PART NO. A00-2436-18 OR APPROVED EQUIVALENT.
- SPRINKLER SLEEVE SHALL NOT BE IN LINE WITH ANY UTILITY BOXES.

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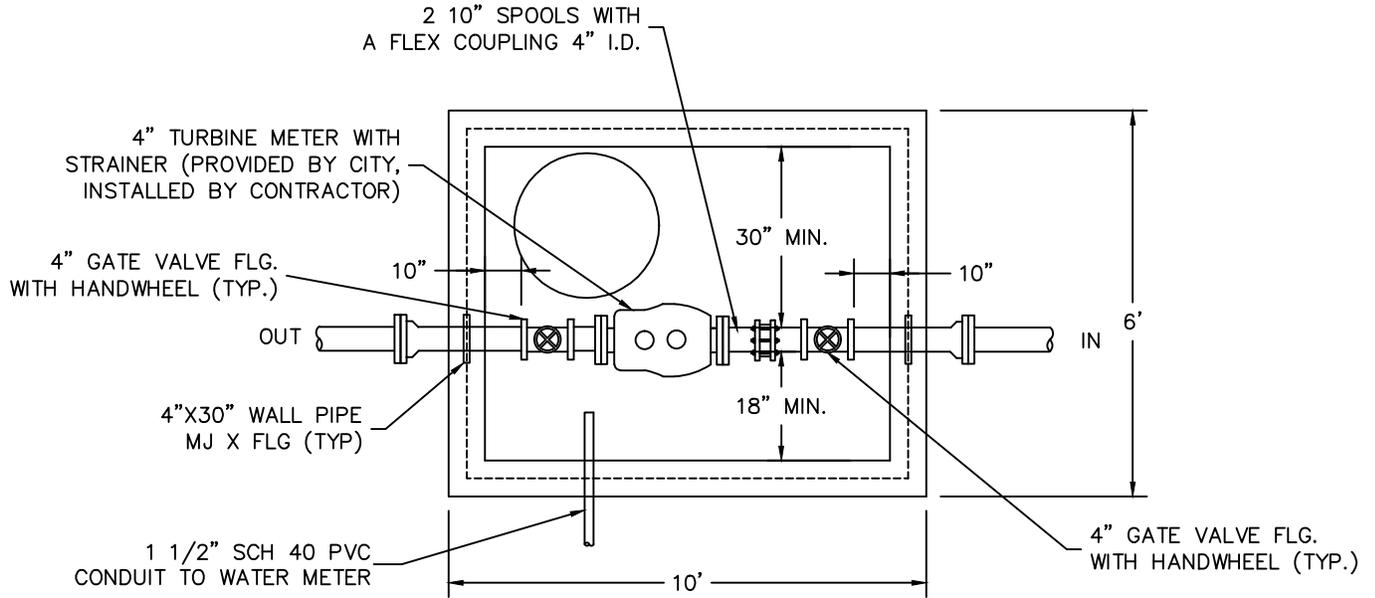


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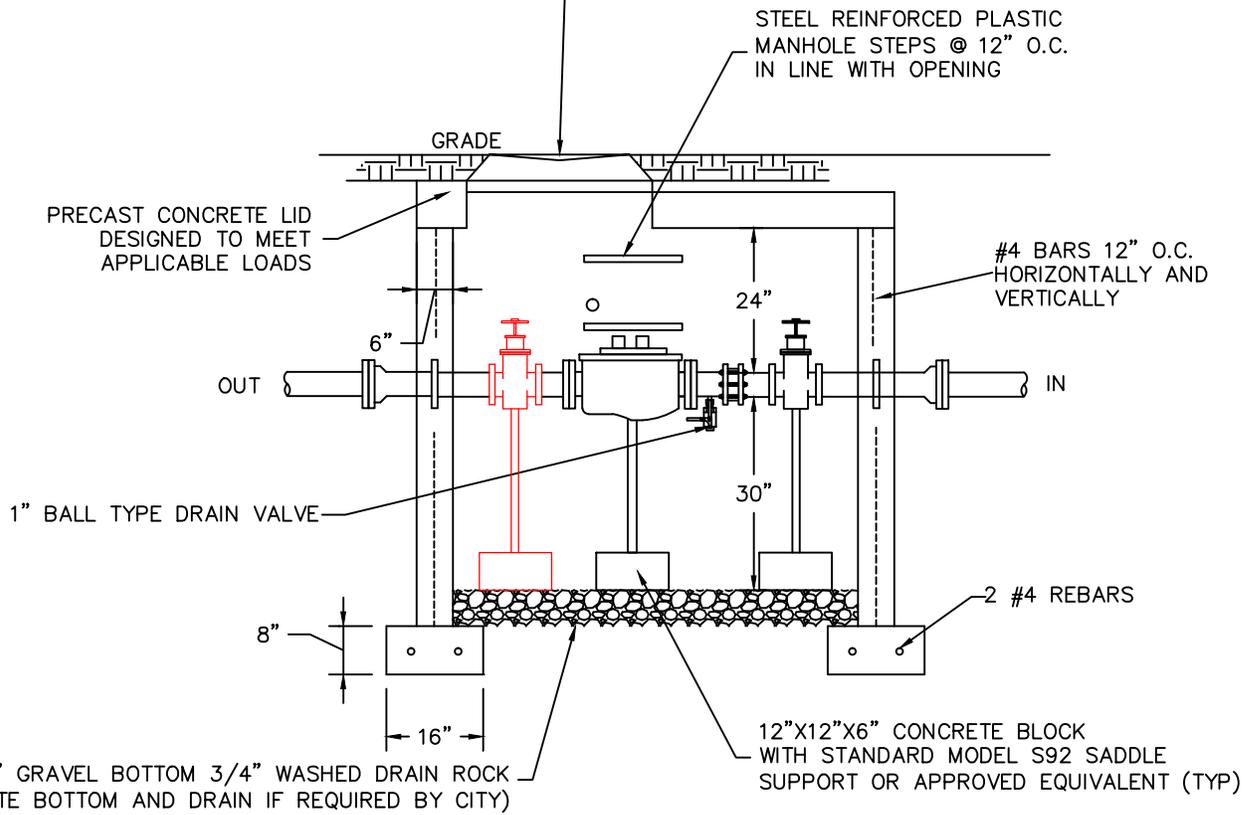
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STANDARD DRAWING  
 1.5" & 2" PRESSURIZED IRRIGATION SERVICE

SCALE  
 1:3  
 STANDARD  
 19 OF 65



A D&L 1180 OR EQUIVALENT MANHOLE FRAME AND LID RECESSED 1/4" BELOW FINISHED GRADE, LID MUST BE LABELED IRRIGATION WITH 1 7/8" HOLE THAT ALLOWS FOR THE INSTALLATION OF A TR PL PAD TOUCH READ DEVICE



NOTES:

1. ALL 4" PIPE AND FITTINGS SHALL BE DUCTILE IRON.
2. ALL 1" PIPE AND FITTINGS SHALL BE BRASS OR COPPER WITH STAINLESS STEEL HANDLE.
3. ALL REBAR SHALL HAVE 30" OVERLAPS.
4. PORTLAND CEMENT CONCRETE MAY ONLY BE POURED ON UNDISTURBED SOIL, 3/4" CRUSHED GRAVEL, OR COMPACTED UNTREATED BASE COURSE.
5. METER BOXES SHALL BE PLACED IN LANDSCAPE AREAS.

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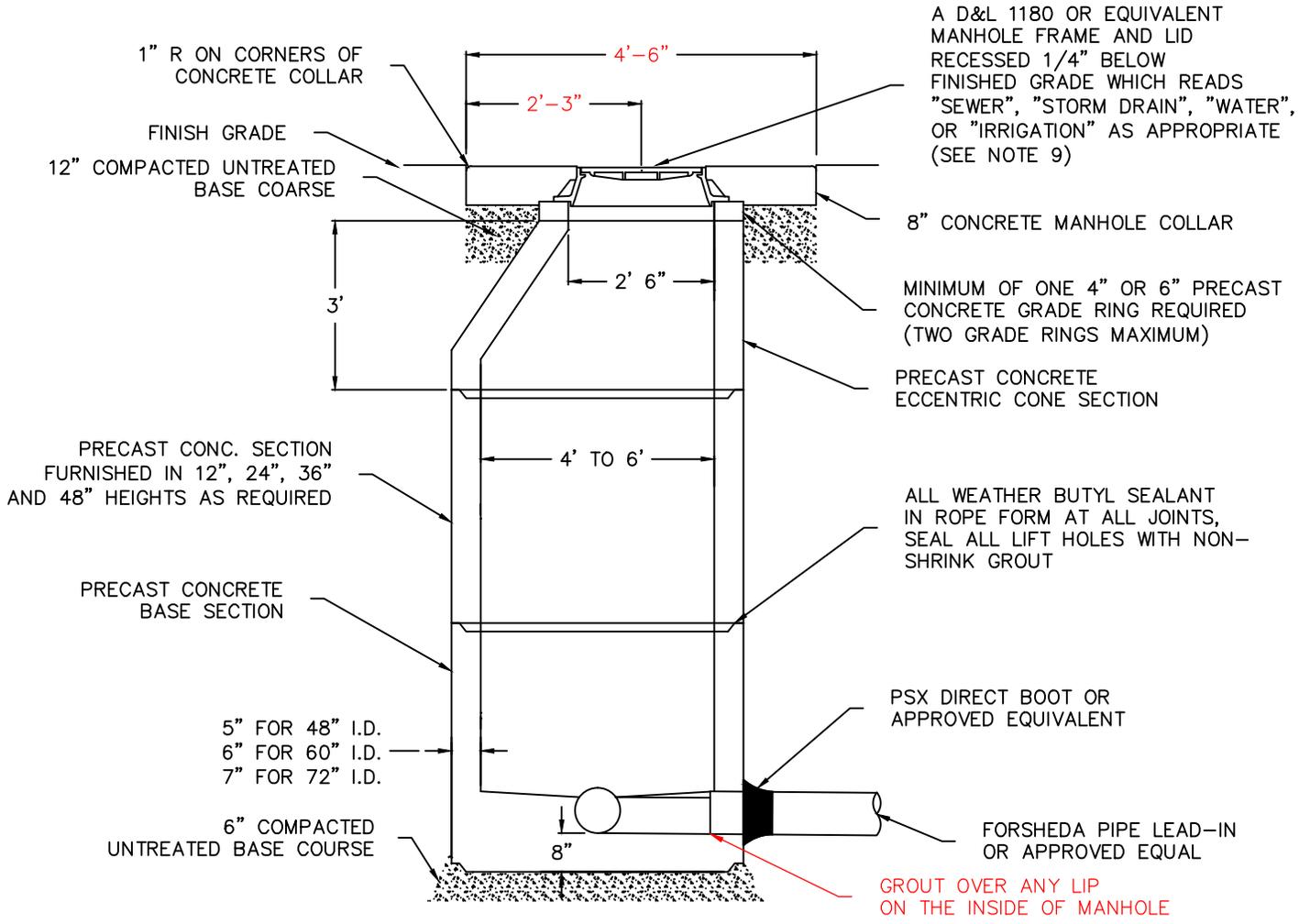
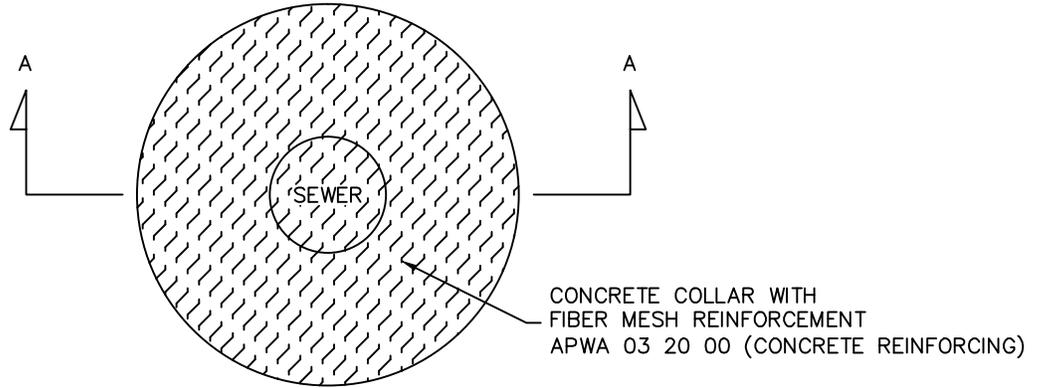


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REVISION	DATE	BY

STANDARD DRAWING  
 4" PRESSURIZED IRRIGATION SERVICE

SCALE  
 1" = 4'  
 STANDARD  
 20 OF 68



- NOTES:
1. USE 4' I.D. MANHOLES FOR MAIN LINES LESS THAN 18" IN DIAMETER; 5' I.D. MANHOLES FOR MAIN LINES 18" TO 30" IN DIAMETER, AND 6' I.D. FOR MAIN LINES GREATER THAN 30" IN DIAMETER.
  2. FLAT LIDS MAY BE USED IN LIEU OF ECCENTRIC CONES WHERE NECESSARY. FLAT LIDS SHALL BE OF ECCENTRIC DESIGN AND MEET H2O LIVE LOADING. NO FLAT RING AND COVERS WILL BE ALLOWED UNLESS APPROVED BY CITY ENGINEER OR HIS/HER DESIGNEE.
  3. MANHOLE RIMS PLACED IN FIELDS SHALL HAVE SOLID LIDS AND BE BURIED 2 FEET DEEP.
  4. MANHOLE RIMS OUT OF STREETS SHALL BE PLACED 4 INCHES ABOVE GRADE.
  5. CONCRETE COLLAR AND RIM SHALL BE INSTALLED 1/4" BELOW PAVEMENT SURFACE AFTER THE 1 YEAR PRESERVATION COAT.
  6. MANHOLE COLLARS AND RINGS SHALL BE PROTECTED BY A COVERING DURING A SEAL COAT.
  7. STORM MANHOLES MAY HAVE FLAT BOTTOMS IN THE BASES.
  8. CONCRETE COLLAR SHALL BE PLACED AFTER THE 1 YEAR PRESERVATION COAT WHEN APPLICABLE.
  9. IN PAVED AREAS WITH A SLOPE GREATER THAN 5% USE AN EJIW 3624 TWIST BASE OR APPROVED EQUIVALENT.

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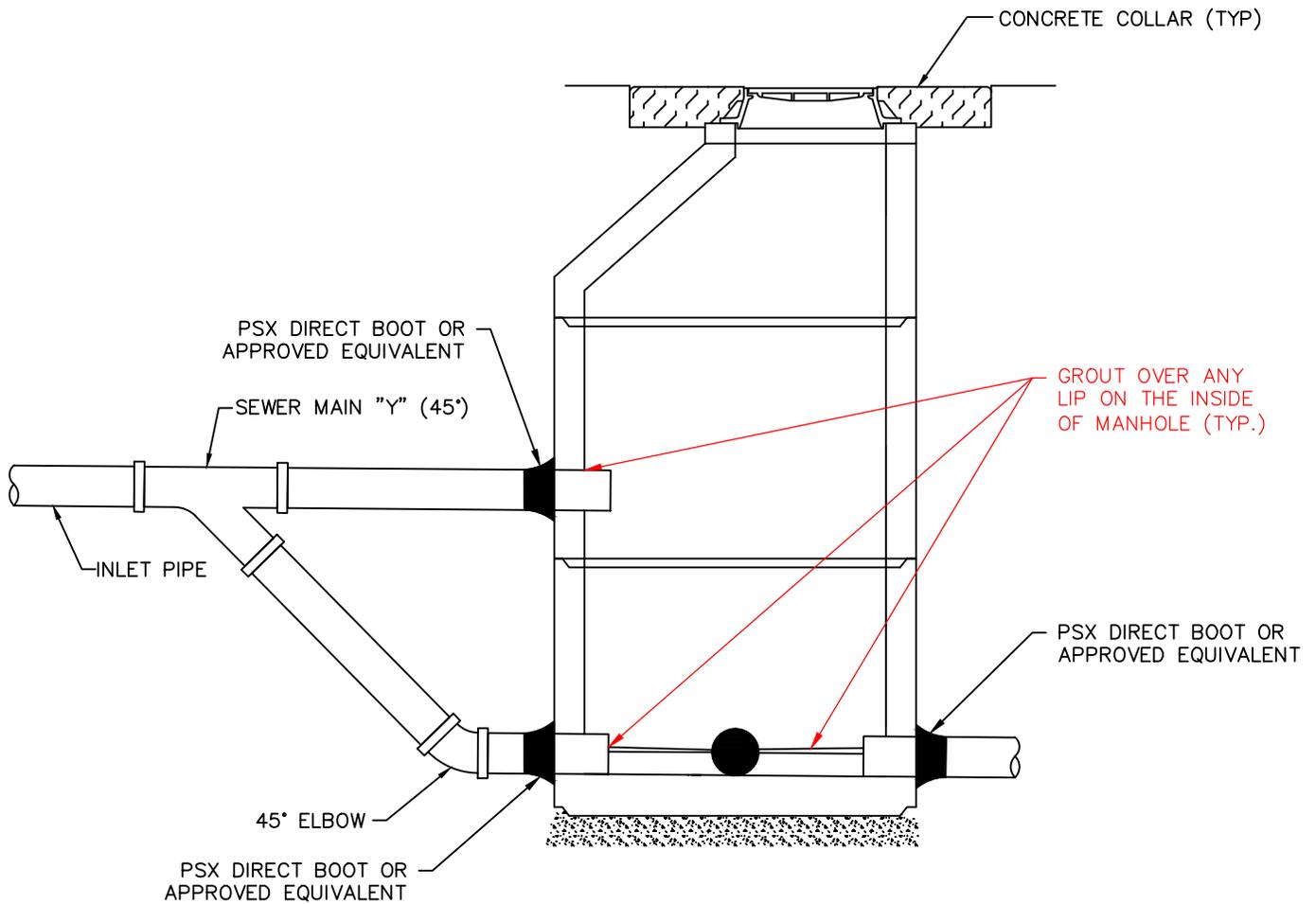


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STANDARD DRAWING  
 MANHOLE

SCALE  
 NTS  
 STANDARD  
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NOTES:  
 1. MANHOLE MUST MEET ALL THE REQUIREMENTS FOR A STANDARD MANHOLE IN ADDITION TO THE DROP MANHOLE REQUIREMENTS.

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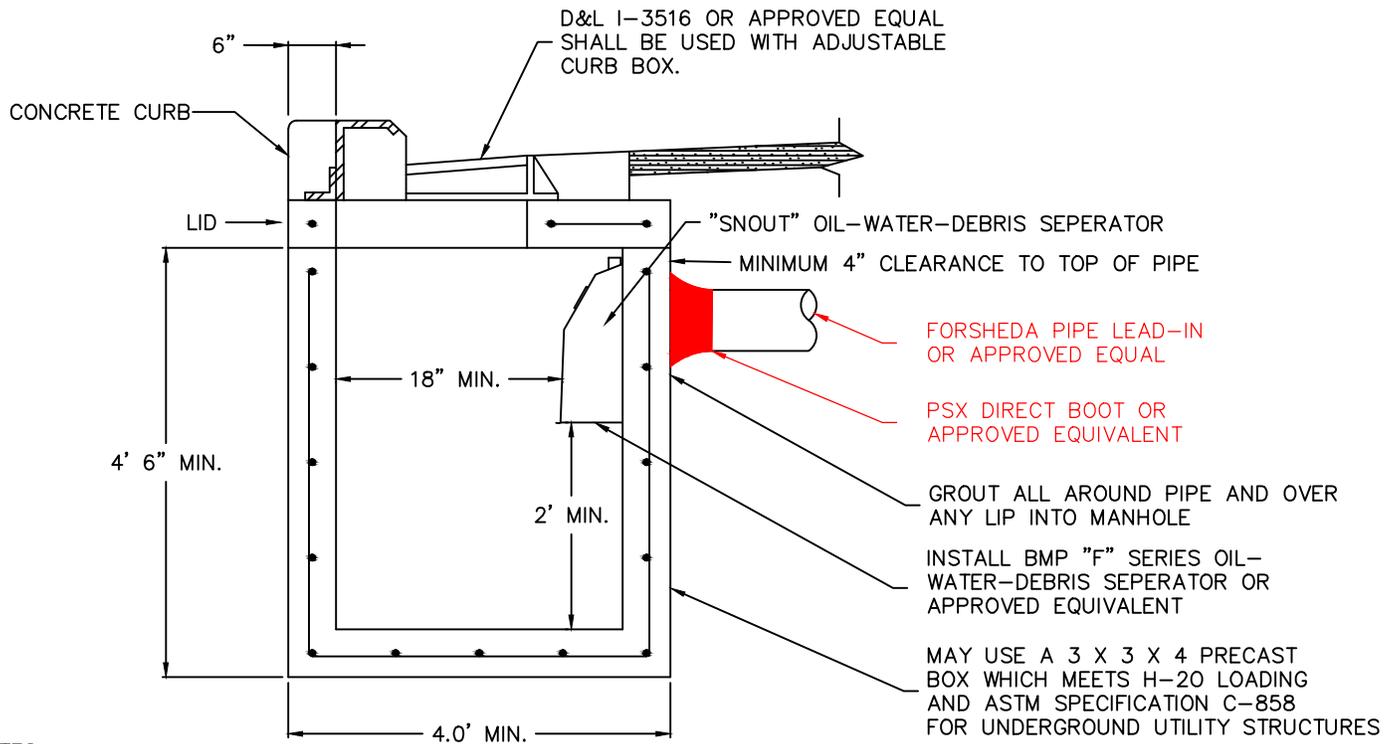
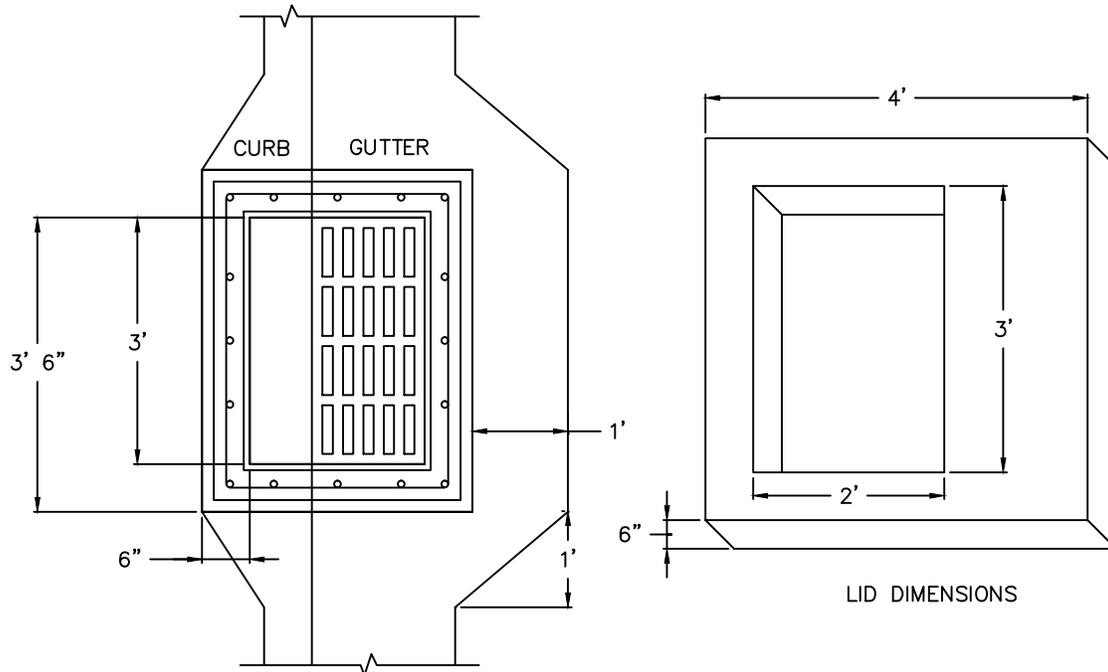


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STANDARD DRAWING  
 DROP MANHOLE CROSS SECTION

SCALE  
 NTS  
 STANDARD  
 22 OF 68



NOTES:

1. ALL STORM TRANSMISSION LINES SHALL RUN THROUGH STORM MANHOLES.
2. BOX SHALL BE SIZED ACCORDING TO TABLE ON STANDARD #29.
3. #4 REBAR WILL BE SPACED AT MINIMUM OF 12" O.C. IN ALL DIRECTIONS IN CONCRETE.
4. ALL REBAR SHALL OVERLAP A MINIMUM OF 14".
5. "SNOUT" OIL-WATER-DEBRIS SEPERATOR SHALL BE INSTALLED TO MANUFACTURER'S SPECIFICATIONS.
6. USE HDPE BOX FOR HDPE PIPE WHEN APPROVED BY CITY ENGINEER OR HIS/HER DESIGNEE.

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STANDARD  
 DRAWING  
 INLET BOX

SCALE  
 1:2  
 STANDARD  
 26 OF 68

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DESIGN	TJB
CHECK	CMT
DATE	8/14/12



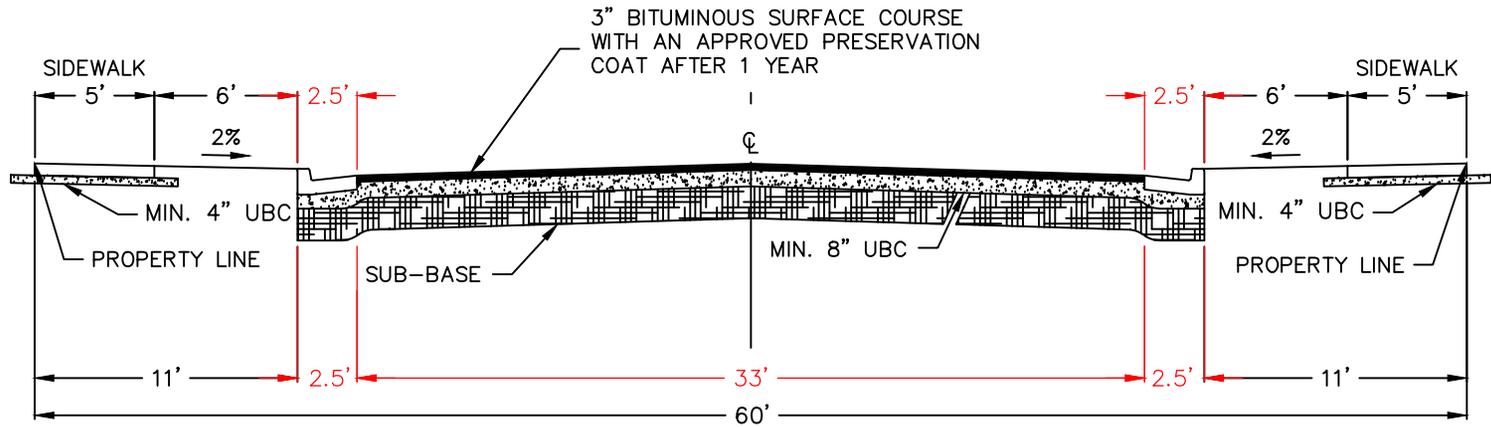
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DRAFT FOR CITY COUNCIL

DATE	BY

STANDARD DRAWING  
 RESIDENTIAL LOCAL  
 CROSS SECTION

SCALE  
 VARIES  
 STANDARD  
 30 OF 65



NOTES:

1. SEE STANDARD DRAWING FOR SIDEWALKS.
2. 6' PLANTER AREAS SHALL BE PLANTED WITH GRASS AND TREES AS APPROVED BY THE CITY. SPRINKLER SYSTEMS SHALL BE INSTALLED ACCORDING TO CITY STANDARDS.
3. SUB-BASE AS SPECIFIED IN THE CONSTRUCTION STANDARDS AND SOILS REPORT.
4. MINIMUM OF 8" UNTREATED BASE COURSE UNLESS MORE REQUIRED BY SOILS REPORT.
5. ALL ADJUSTMENT TO UTILITIES LOCATIONS SHALL BE APPROVED BY CITY ENGINEER.

DRAWN	RWR
DESIGN	TJB
CHECK	CMT
DATE	8/14/12

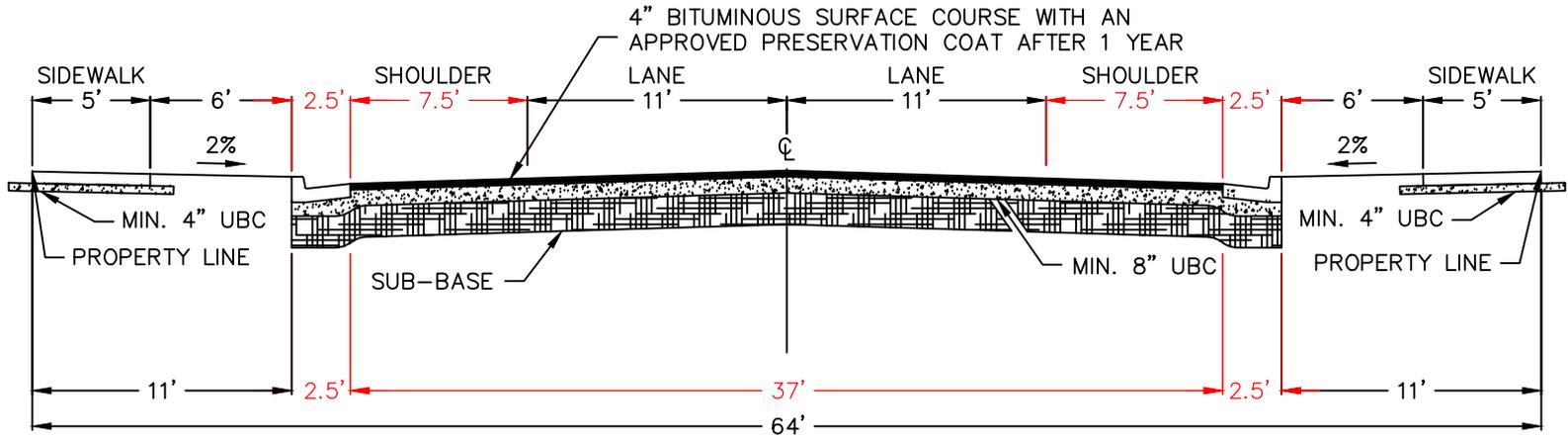


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STANDARD DRAWING  
 COMMERCIAL LOCAL  
 CROSS SECTION

SCALE  
 VARIES  
 STANDARD  
 31 OF 65



NOTES:

1. SEE STANDARD DRAWING FOR SIDEWALKS.
2. 6' PLANTER AREAS SHALL BE PLANTED WITH GRASS AND TREES AS APPROVED BY THE CITY. SPRINKLER SYSTEMS SHALL BE INSTALLED ACCORDING TO CITY STANDARDS.
3. SUB-BASE AS SPECIFIED IN THE CONSTRUCTION STANDARDS AND SOILS REPORT.
4. MINIMUM OF 8" UNTREATED BASE COURSE UNLESS MORE REQUIRED BY SOILS REPORT.
5. ALL ADJUSTMENT TO UTILITIES LOCATIONS SHALL BE APPROVED BY CITY ENGINEER.

DRAWN	RWR
DESIGN	TJB
CHECK	CMT
DATE	8/14/12

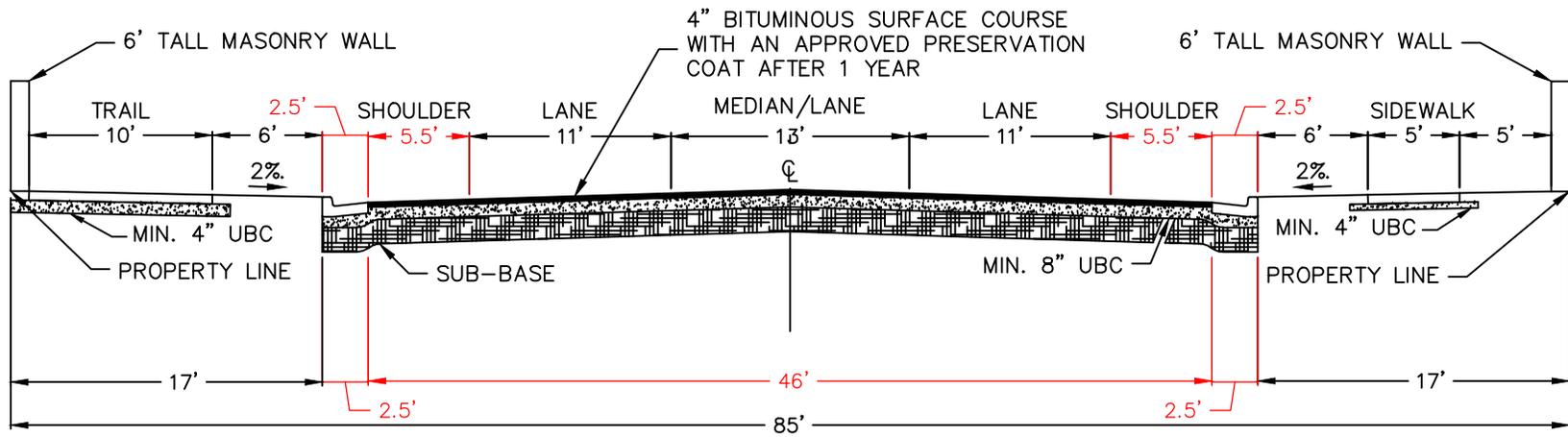


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STANDARD DRAWING  
 COLLECTOR  
 GROSS SECTION

SCALE  
 VARIES  
 STANDARD  
 32 OF 65



- NOTES:
1. CITY ENGINEER MAY WAIVE THE REQUIREMENT FOR A WALL.
  2. SEE STANDARD DRAWING FOR TRAILS AND SIDEWALKS.
  3. TRAILS SHALL BE CONSTRUCTED ACCORDING TO THE TRAILS MASTER PLAN. IF THERE IS NO TRAIL TO BE INSTALLED ALONG STREET SIDEWALK SECTION SHALL BE INSTALLED ON BOTH SIDES OF STREET.
  4. 6' PLANTER AREAS SHALL BE PLANTED WITH GRASS AND TREES AS APPROVED BY THE CITY. PLANTERS BEHIND THE SIDEWALK SHALL HAVE SHRUBS AND BARK OR XERISCAPE AS APPROVED BY THE CITY. SPRINKLER SYSTEMS SHALL BE INSTALLED ACCORDING TO CITY STANDARDS.
  5. SUB-BASE AS SPECIFIED IN THE CONSTRUCTION STANDARDS AND SOILS REPORT.
  6. MINIMUM OF 8" UNTREATED BASE COURSE UNLESS MORE REQUIRED BY SOILS REPORT.
  5. ALL ADJUSTMENT TO UTILITIES LOCATIONS SHALL BE APPROVED BY CITY ENGINEER.
  6. ALL UTILITY BOXES AND EQUIPMENT SHALL BE ON THE STREET SIDE OF MASONRY WALL.

DESIGN	CJP
CHECK	CJP
DATE	8/29/12



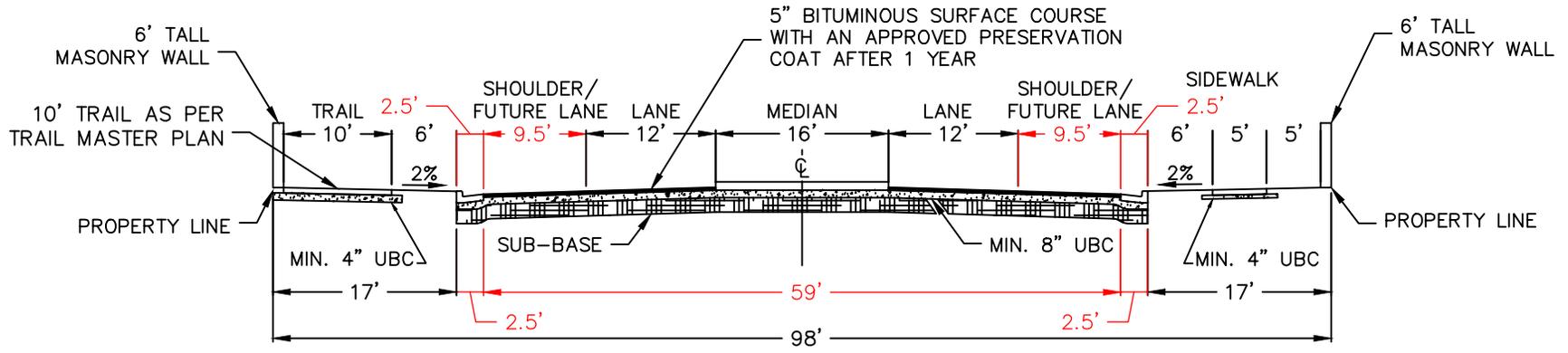
SPANISH FORK CITY  
 40 SOUTH MAIN STREET  
 SPANISH FORK, UT 84660  
 (801) 804-4550

REVISION	DATE	BY
DRAFT FOR CITY COUNCIL		

DATE	
BY	

STANDARD DRAWING  
 MINOR ARTERIAL  
 CROSS SECTION

SCALE  
 VARIES  
 STANDARD  
 33 OF 68



- NOTES:
1. CITY ENGINEER MAY WAIVE THE REQUIREMENT FOR A WALL.
  2. SEE STANDARD DRAWING FOR TRAILS AND SIDEWALKS.
  3. TRAILS SHALL BE CONSTRUCTED ACCORDING TO THE TRAILS MASTER PLAN. IF THERE IS NO TRAIL TO BE INSTALLED ALONG STREET SIDEWALK SECTION SHALL BE INSTALLED ON BOTH SIDES OF STREET.
  4. 6' PLANTER AREAS SHALL BE PLANTED WITH GRASS AND TREES AS APPROVED BY THE CITY. PLANTERS BEHIND THE SIDEWALK SHALL HAVE SHRUBS AND BARK OR XERISCAPE AS APPROVED BY THE CITY. SPRINKLER SYSTEMS SHALL BE INSTALLED ACCORDING TO CITY STANDARDS.
  5. SUB-BASE AS SPECIFIED IN THE CONSTRUCTION STANDARDS AND SOILS REPORT.
  6. MINIMUM OF 8" UNTREATED BASE COURSE UNLESS MORE REQUIRED BY SOILS REPORT.
  7. ALL ADJUSTMENT TO UTILITIES LOCATIONS SHALL BE APPROVED BY CITY ENGINEER.
  8. ALL UTILITY BOXES AND EQUIPMENT SHALL BE ON THE STREET SIDE OF MASONRY WALL.

DESIGN	CJP
CHECK	CJP
DATE	8/29/12



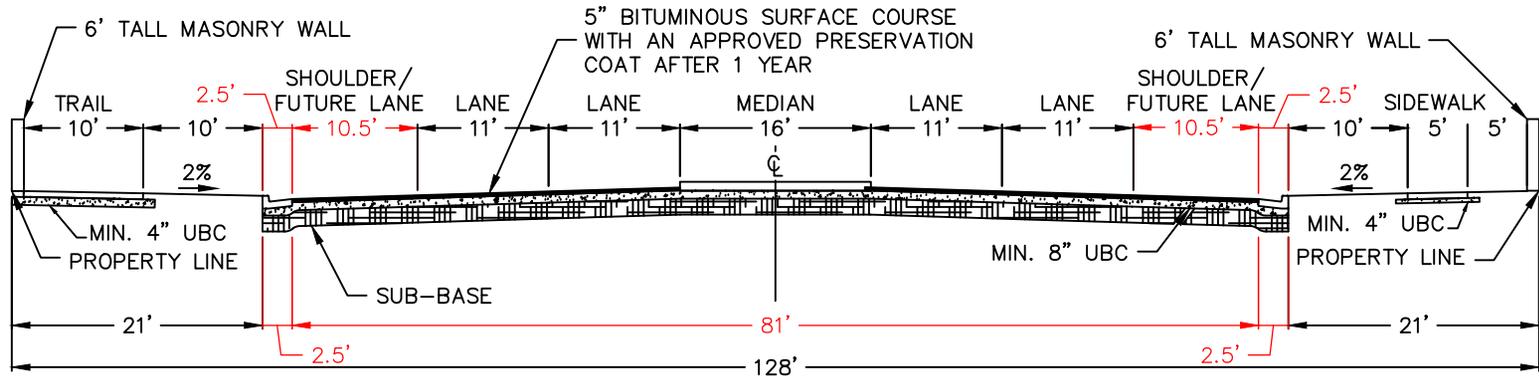
SPANISH FORK CITY  
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DRAFT FOR CITY COUNCIL	

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STANDARD DRAWING  
 MAJOR ARTERIAL  
 CROSS SECTION

SCALE  
 VARIES  
 STANDARD  
 34 OF 68



NOTES:

1. CITY ENGINEER MAY WAIVE THE REQUIREMENT FOR A WALL.
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7. ALL ADJUSTMENT TO UTILITIES LOCATIONS SHALL BE APPROVED BY CITY ENGINEER.
8. ALL UTILITY BOXES AND EQUIPMENT SHALL BE ON THE STREET SIDE OF MASONRY WALL.

DESIGN	JLR
CHECK	CJP
DATE	8/29/12

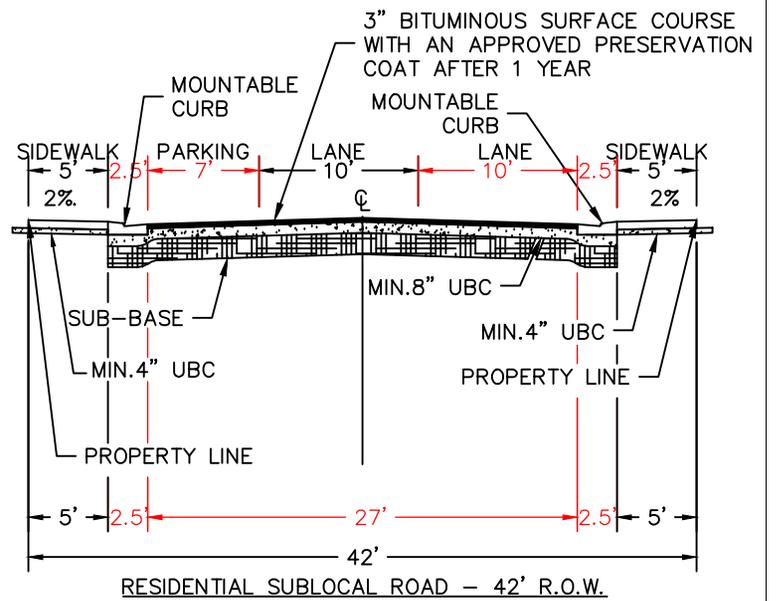
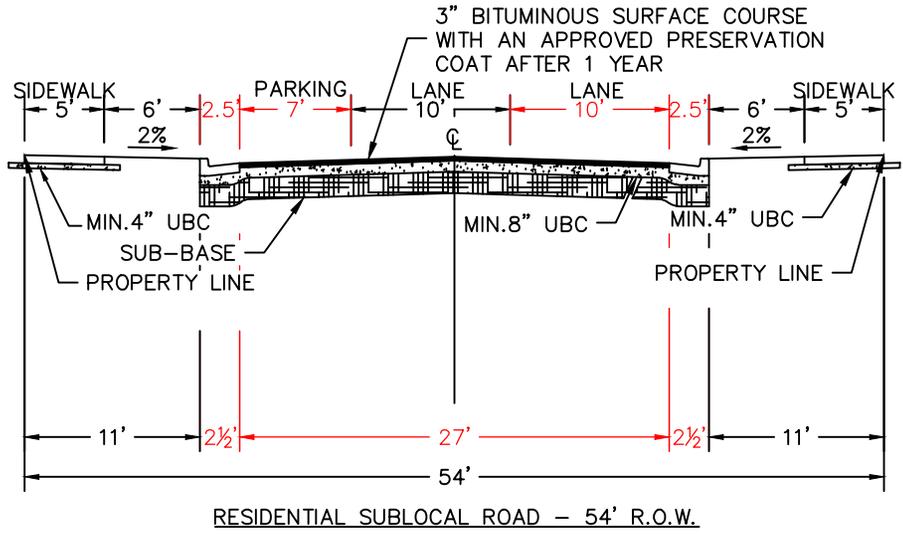


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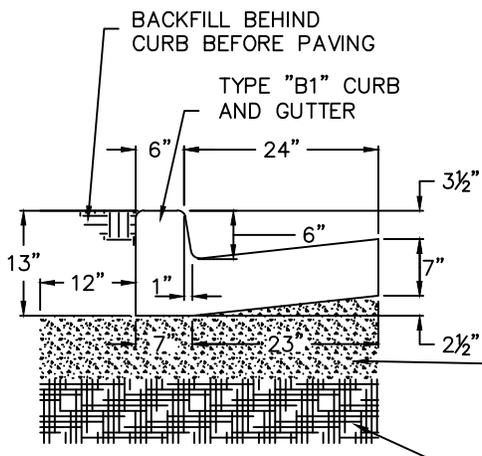
REVISION	DATE	BY
DRAFT FOR CITY COUNCIL		

STANDARD DRAWING  
 RESIDENTIAL SUB-LOCAL  
 CROSS SECTION

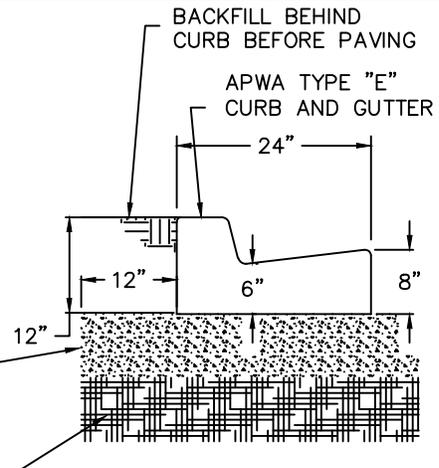
SCALE  
 VARIES  
 STANDARD  
 35 OF 68



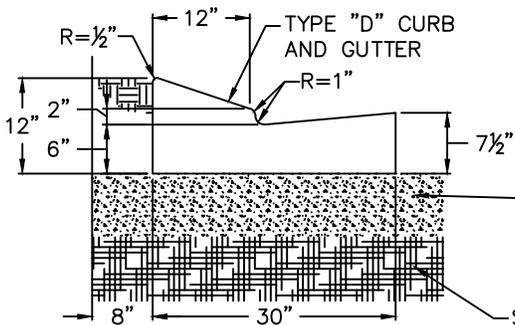
- NOTES:
- 54' R.O.W. ONLY APPROVED FOR STREETS THAT ARE LESS THAN 800 FT. IN LENGTH AND LESS THAN 400 ANTICIPATED ADT.
  - 42' R.O.W. ONLY APPROVED FOR STREETS THAT ARE LESS THAN 600 FT. IN LENGTH AND LESS THAN 300 ANTICIPATED ADT.
  - A SUB-LOCAL STREET MAY NOT INTERSECT WITH ANOTHER SUB-LOCAL STREET.
  - 42' R.O.W. MAY ONLY BE USED IN MULTI-FAMILY DEVELOPMENTS AND IS SUBJECT TO THE APPROVAL OF THE CITY ENGINEER OR HIS/HER DESIGNEE.
  - THE CITY COUNCIL MAY WAIVE THE REQUIRED PARKSTIRP AND SIDEWALK ON ONE SIDE OF THE STREET.
  - SUB-BASE AS SPECIFIED IN THE CONSTRUCTION STANDARDS AND SOILS REPORT.
  - MINIMUM OF 8" UNTREATED BASE COURSE UNLESS MORE REQUIRED BY SOILS REPORT.
  - ALL ADJUSTMENT TO UTILITIES LOCATIONS SHALL BE APPROVED BY CITY ENGINEER.



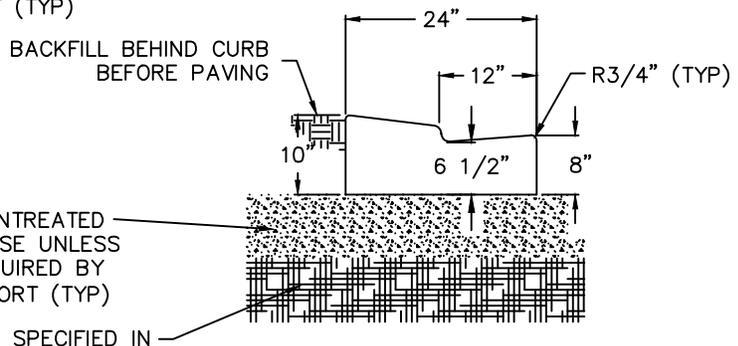
30" CATCH CURB AND GUTTER



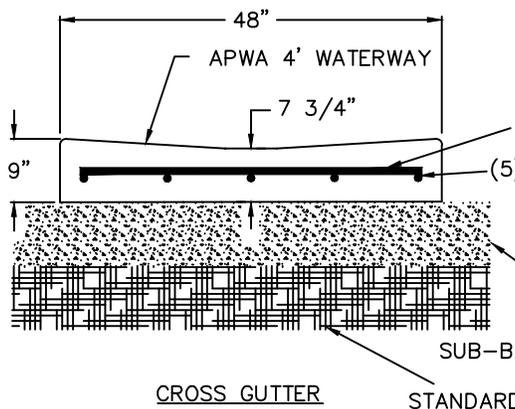
24" CATCH CURB AND GUTTER



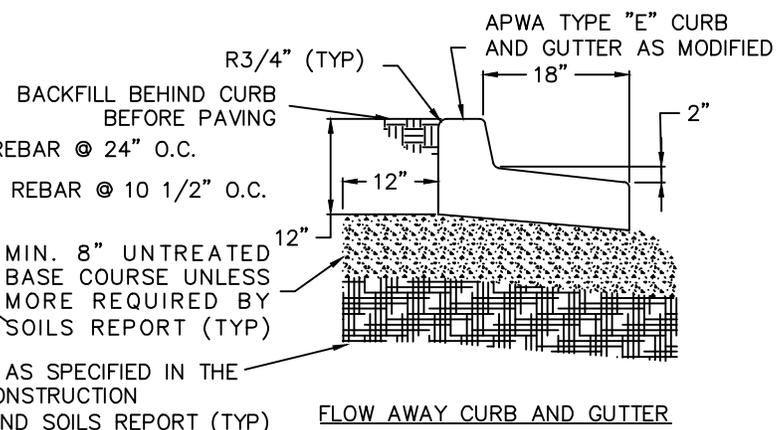
30" DRIVE THROUGH GUTTER  
SEE NOTE 9



24" DRIVE THROUGH GUTTER  
SEE NOTE 9



CROSS GUTTER



FLOW AWAY CURB AND GUTTER

- NOTES:
1. SUB-BASE UNDER ALL CURBS AND GUTTERS SHALL MATCH WHAT IS IN THE ROAD WITH A MINIMUM OF 8" OF COMPACTED UNTREATED BASE COURSE.
  2. IF CONCRETE IS TO BE POURED NEXT TO A CURB #4 REBAR SHALL BE DOWELED 3" INTO CURB AND 4" INTO SIDEWALK. REBAR SHALL BE INSTALLED A MINIMUM OF 2" FROM TOP OF SIDEWALK AND CURB 24" O.C.
  3. SIDEWALKS SHALL HAVE CONSTRUCTION JOINTS EVERY 5'.
  4. TOP FRONT OF SIDEWALK SHALL BE PLACED AT THE SAME GRADE AS TOP BACK OF CURB.
  5. TACK SHALL BE APPLIED TO LIP OF CURB AND EXTEND 1' ONTO GRAVEL ROAD BASE.
  6. PAVERS, FABRIC, SAND MATERIAL AND INSTALLATION SHALL MEET THE SPECIFICATIONS AND REQUIREMENTS OF APWA 32 14 13 (PRECAST CONCRETE UNIT PAVING) AND 32 14 16 (BRICK UNIT PAVING).
  7. ESTABLISH PAVER PATTERN TO ASSURE ALL CUT EDGE PAVERS SHALL BE HALF PAVERS OR LARGER.
  8. ALL PAVERS SHALL MATCH THE ORIGINAL COLOR OF THE DARK RED CONCRETE PAVERS ON MAIN STREET
  9. MODIFIED CURB & GUTTER IS ONLY TO BE USED IN THE RESIDENTIAL SUB LOCAL ROAD - 42' RIGHT OF WAY UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER.

DRAWN: JLR  
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 CHECK: CJP  
 DATE: 8/29/12

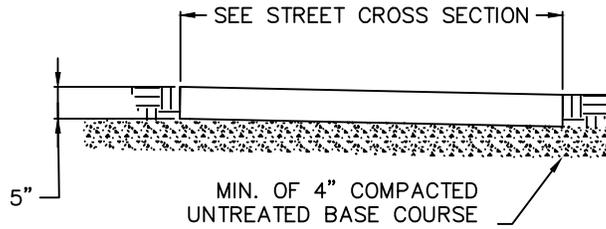


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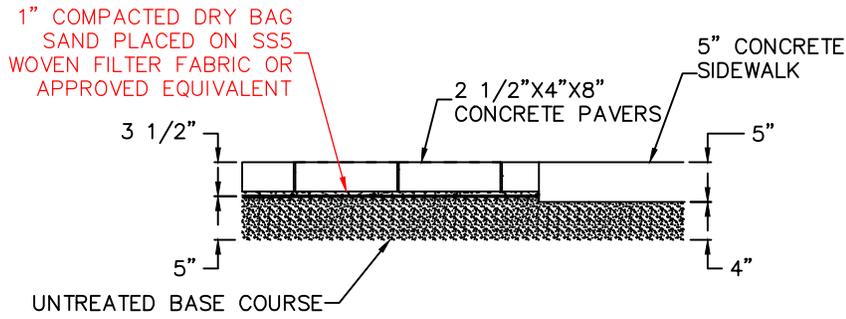
REVISION	DATE	BY

STANDARD DRAWING  
 CURB GUTTERS

SCALE  
 1:2  
 STANDARD  
 37A OF 68



SIDEWALK  
SEE APWA CONCRETE SIDEWALK



DECORATIVE PAVER DETAIL

NOTES:

1. SUB-BASE UNDER ALL CURBS AND GUTTERS SHALL MATCH WHAT IS IN THE ROAD WITH A MINIMUM OF 8" OF COMPACTED UNTREATED BASE COURSE.
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8. ALL PAVERS SHALL MATCH THE ORIGINAL COLOR OF THE DARK RED CONCRETE PAVERS ON MAIN STREET

DRAWN: JLR  
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CHECK: CJP  
DATE: 8/29/12

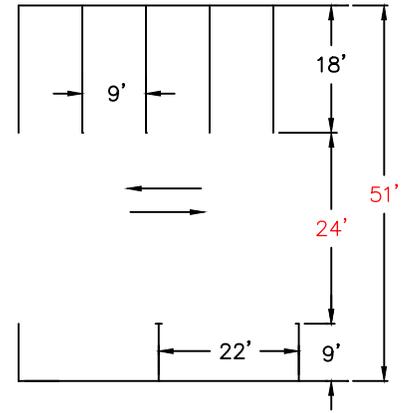
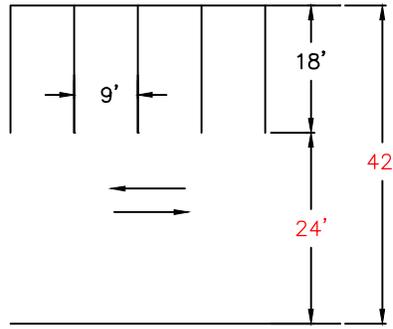
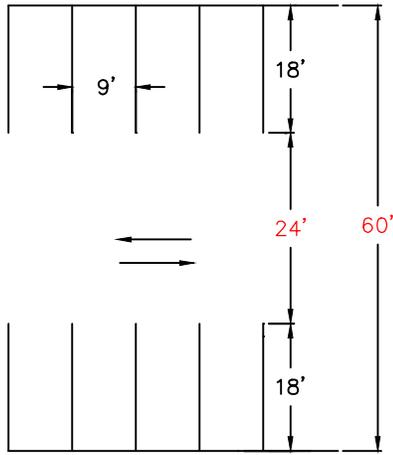


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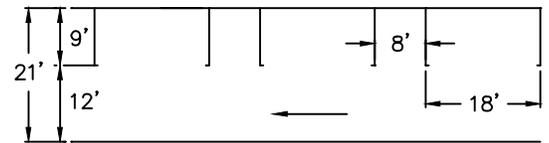
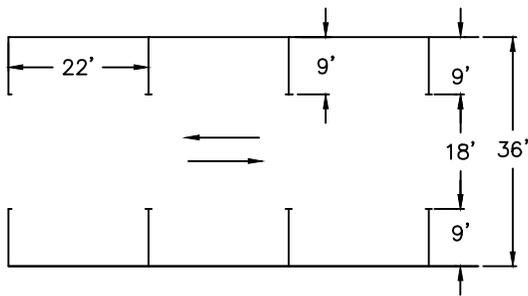
REVISION	DATE	BY

STANDARD DRAWING  
SIDEWALK

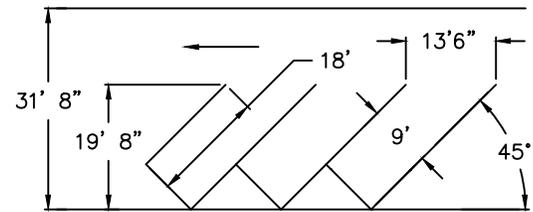
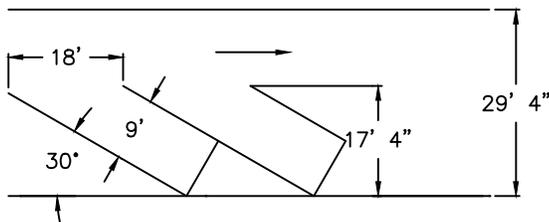
SCALE  
1:2  
STANDARD  
37B OF 68



RIGHT ANGLE PARKING

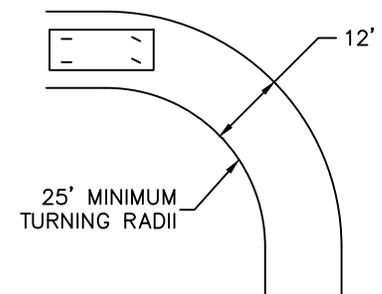
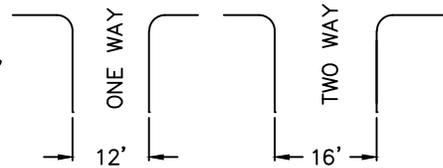
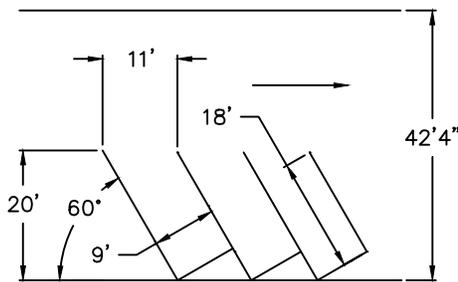


PARALLEL PARKING



30 DEGREE ANGLE PARKING  
MUST HAVE 20' TRAVEL LANE FOR 2 WAY TRAFFIC

45 DEGREE ANGLE PARKING  
MUST HAVE 22' TRAVEL LANE FOR 2 WAY TRAFFIC



60 DEGREE ANGLE PARKING  
MUST HAVE 24' TRAVEL LANE FOR  
2 WAY TRAFFIC

DRIVEWAY WIDTHS

MINIMUM TURNING RADIUS

DRAWN: JLR  
DESIGN: CJP  
CHECK: CJP  
DATE: 8/29/12



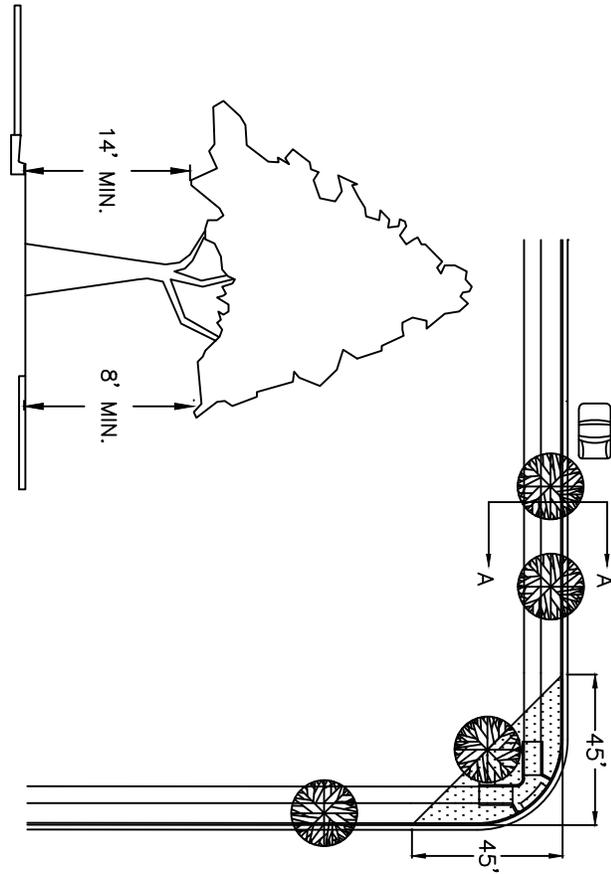
SPANISH FORK CITY  
40 SOUTH MAIN STREET  
SPANISH FORK, UT 84660  
(801) 804-4550

REVISION	DATE	BY

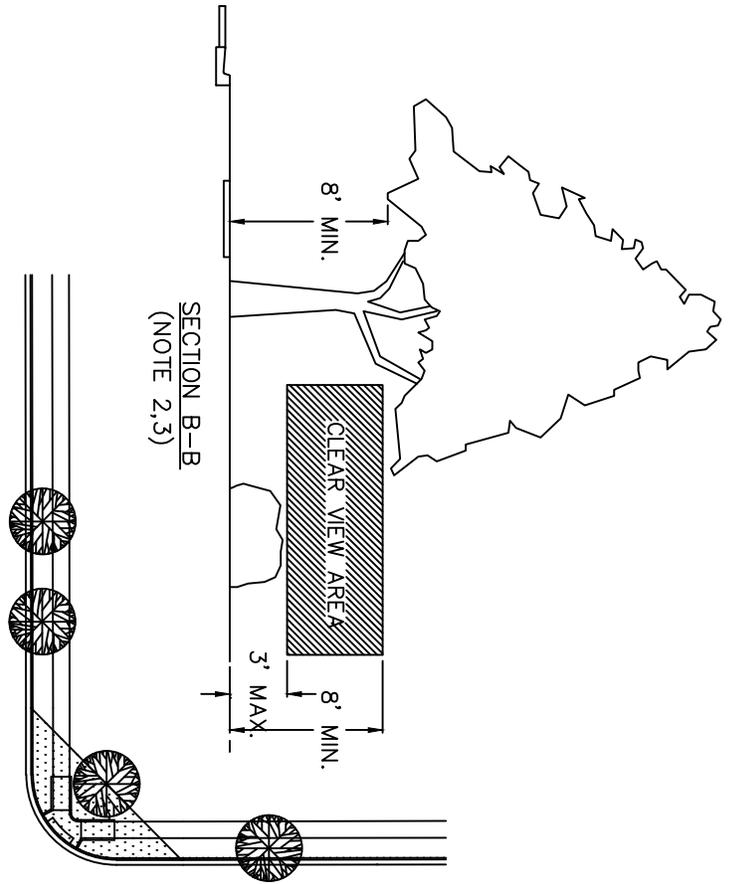
STANDARD DRAWING  
PARKING LOTS

SCALE  
1:30  
STANDARD  
42 OF 68

SECTION A-A  
(NOTE 1, 2)



SECTION B-B  
(NOTE 2,3)



- NOTES:
1. TREES IN PARK STRIPS MUST BE PRUNED TO A MINIMUM HEIGHT OF 14' ABOVE THE ROADWAY.
  2. RESIDENTS ON CORNER LOTS ARE REQUIRED TO HAVE AN UNOBSTRUCTED SITE TRIANGLE FOR 45' FROM THE INTERSECTION OF THE EXTENSION OF BACK OF CURB IN BOTH DIRECTIONS. NO STRUCTURES OR VEGETATION ON THIS TRIANGLE SHALL BE OVER 3' IN HEIGHT.
  3. TREES ON PRIVATE PROPERTY IN THE SITE TRIANGLE OR OVERHANGING THE SIDEWALK MUST BE PRUNED TO A MINIMUM HEIGHT OF 8' ABOVE THE SIDEWALK.
  4. TRAFFIC SIGNS AND STREET SIGNS SHALL NOT BE OBSTRUCTED BY VEGETATION FOR AT LEAST 100' FROM APPROACHING VIEW OF VEHICLE OPERATOR.
  5. TREES SHOULD NOT BE PLANTED WITHIN 10' OF A WATER METER AND FIRE HYDRANT AND WITHIN 20' OF STREET LIGHTS

DRAWN: JLR  
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 DATE: 8/29/12

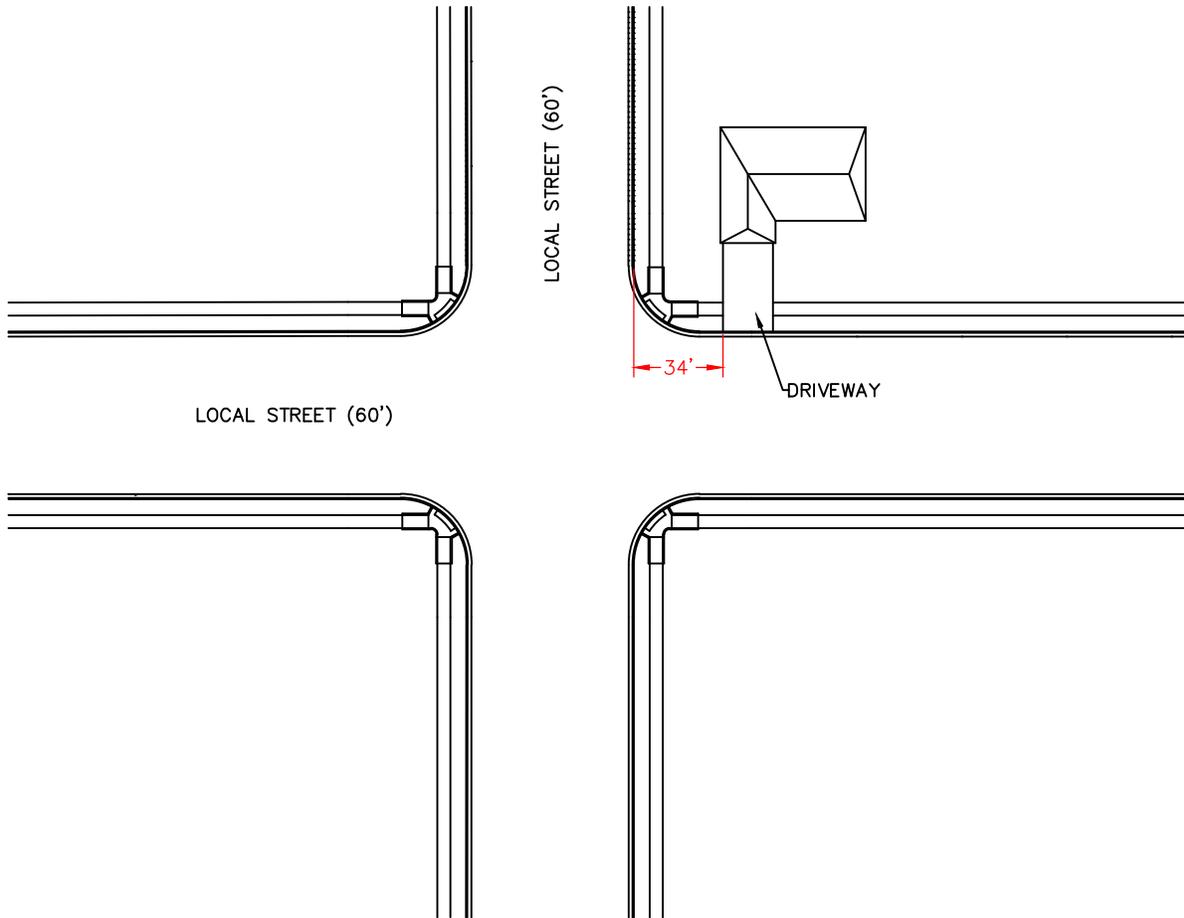


SPANISH FORK CITY  
 40 SOUTH MAIN STREET  
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REVISION	DATE	BY

STANDARD DRAWING  
 Clear Sight Tirangle

SCALE  
 NTS  
 STANDARD  
 43 OF 68



NOTES:  
 1. ~~NO DRIVEWAYS SHALL BE CONSTRUCTED WITHIN 60 FEET FROM THE ADJOINING STREET.~~  
 MEASUREMENTS ARE FROM THE TOP BACK OF CURB (TBC) TO THE EDGE OF DRIVEWAY FOR ACCESS.

DRAWN	JLR
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CHECK	CJP
DATE	8/23/12

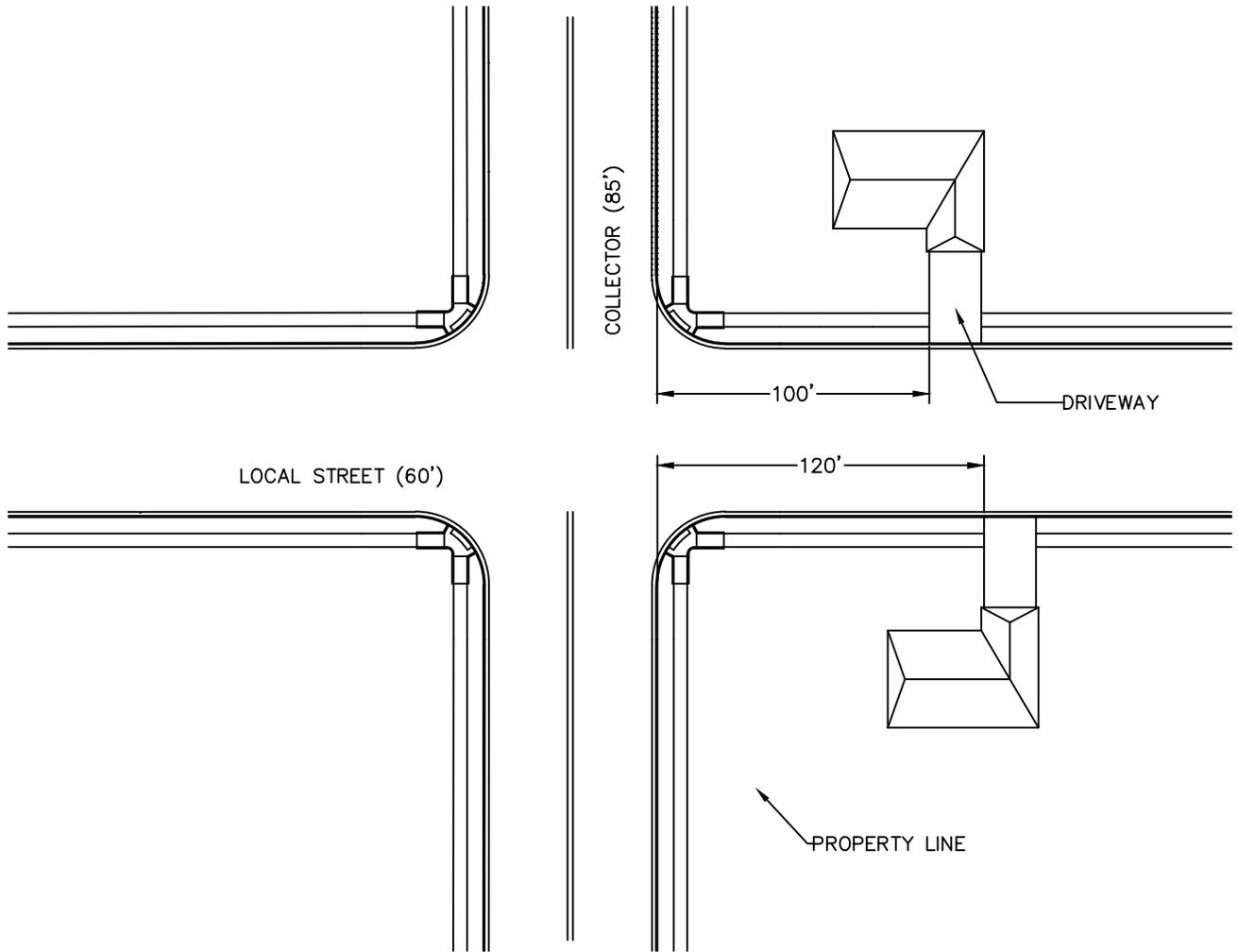


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 40 SOUTH MAIN STREET  
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STANDARD DRAWING  
 DRIVEWAY AND INTERSECTION  
 LOCATION FOR LOCAL/LOCAL  
 STREET

NTS  
 STANDARD  
 44 OF 68



NOTES:  
 1. ~~NO DRIVEWAYS SHALL BE CONSTRUCTED WITHIN 60 FEET FROM THE ADJOINING STREET.~~  
 MEASUREMENTS ARE FROM THE TOP BACK OF CURB (TBC) TO THE EDGE OF DRIVEWAY FOR ACCESS.

DRAWN	JLR
DESIGN	CJP
CHECK	CJP
DATE	8/23/12

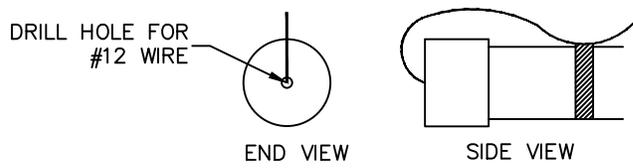
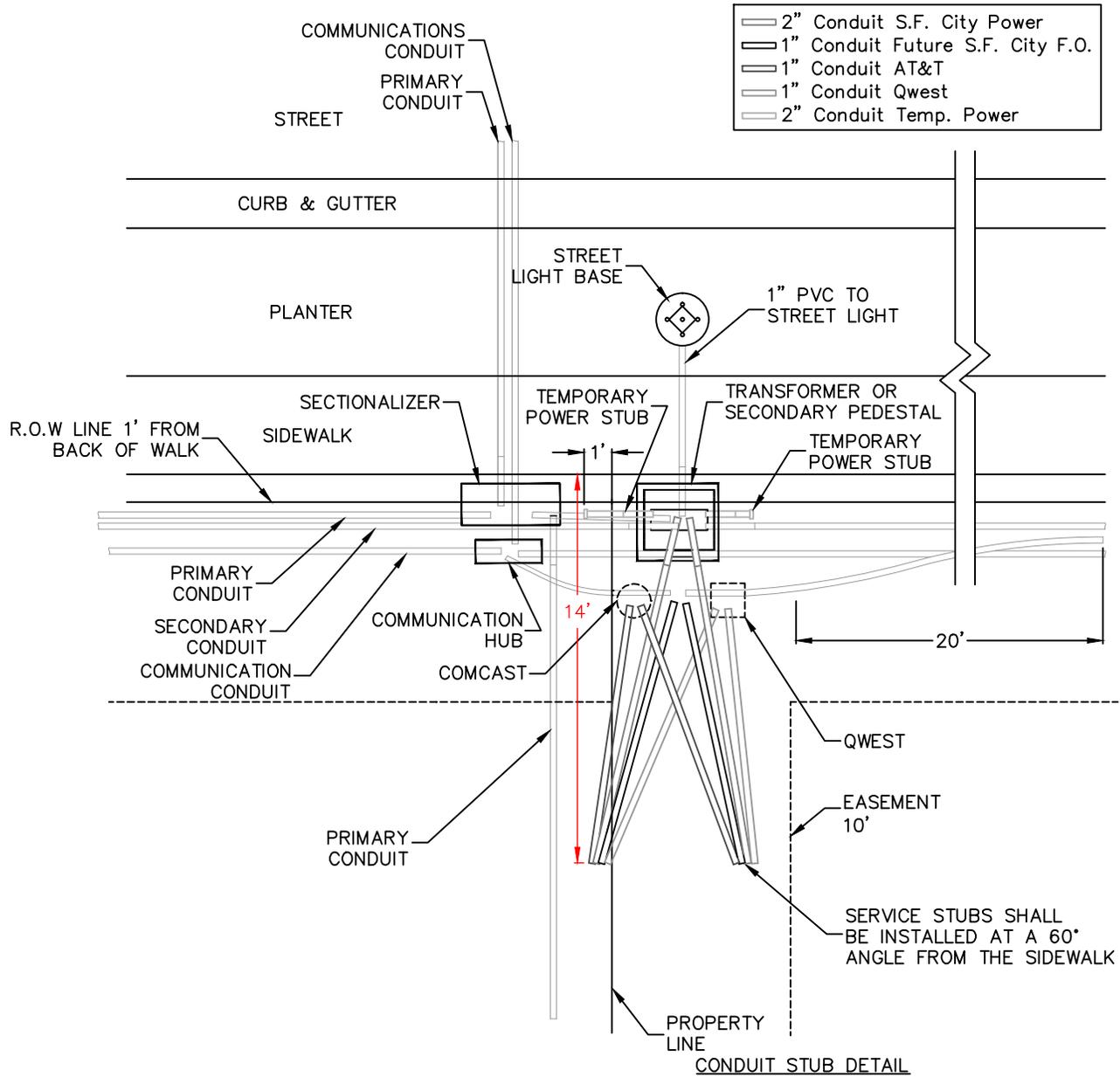


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 40 SOUTH MAIN STREET  
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STANDARD DRAWING  
 DRIVEWAY AND INTERSECTION  
 LOCATION LOCAL/COLLECTOR

NTS  
 STANDARD  
 45 OF 68



**NOTES:**

1. PERMANENTLY CAP ALL ENDS OF STUBS AND MARK WITH A RADAR ENGINEERS MODEL 600 RED BURIED PIPE MARKER OR APPROVED EQUIVALENT.
2. SERVICE STUBS SHALL BE INSTALLED WITH #12 SOLID COPPER THIN TRACER WIRE TAPED TO OUT SIDE ON BOTH ENDS. (DRILL APPROPRIATELY SIZED HOLE THROUGH END OF CAP FOR #12 WIRE)
3. COMCAST AND QWEST COMMUNICATION PEDESTALS SHALL BE INSTALLED BY COMCAST AND QWEST.
4. ALL CONDUIT STUBS SHALL BE INSTALLED BY DEVELOPER.

DRAWN	JLR
DESIGN	TC
CHECK	TC
DATE	8/23/12

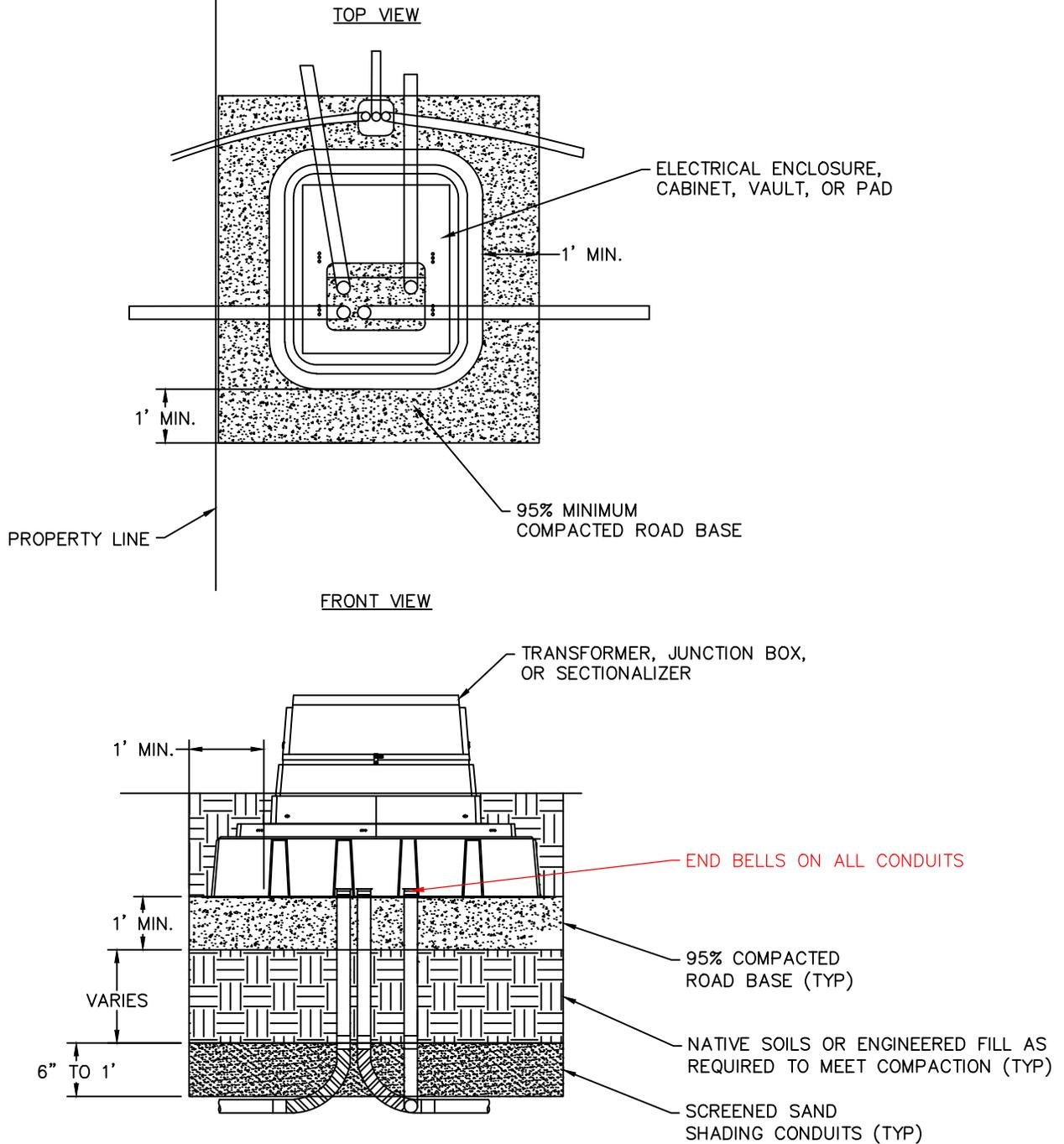


SPANISH FORK CITY  
 40 SOUTH MAIN STREET  
 SPANISH FORK, UT 84660  
 (801) 804-4550

REVISION	DATE	BY

STANDARD DRAWING  
 CONDUIT ROUTING

SCALE  
 NONE  
 STANDARD  
 49 OF 68



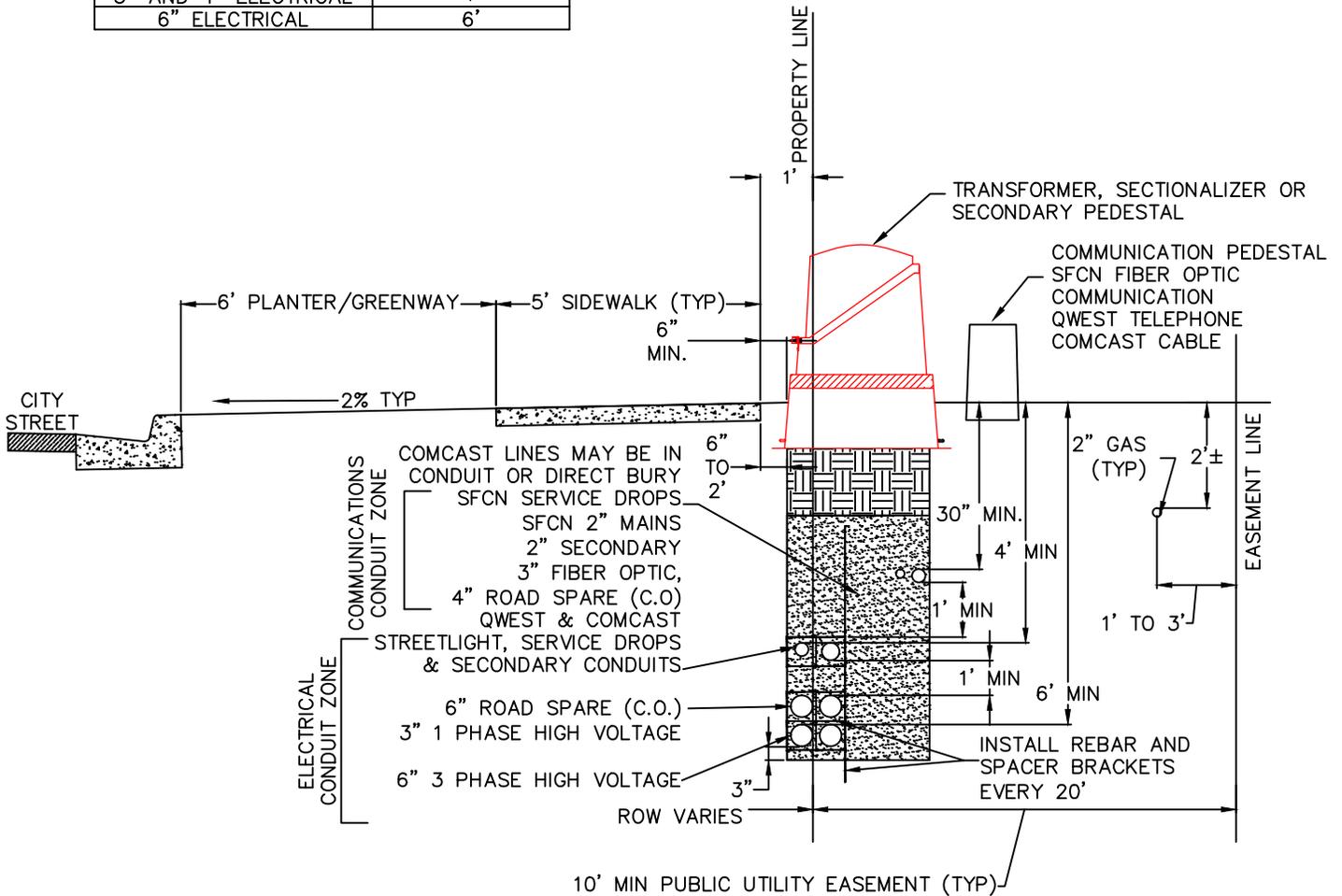
NOTES:

1. ALL ELECTRICAL BOXES INCLUDING, BUT NOT LIMITED TO, SECTIONALIZERS, SECONDARY JUNCTION BOXES, TRANSFORMERS AND TRANSFORMER CONCRETE PADS SHALL HAVE UNTREATED BASE COURSE COMPACTED TO A MINIMUM OF 95% UNDER ALL BOXES. FILL SHALL BE A MINIMUM OF 1' IN DEPTH, AND SHALL EXTEND A MINIMUM OF 1' PAST ALL SIDES AND BACK AND 1' IN FRONT (6" IF A SIDEWALK IS PRESENT) OF ALL BOXES OR PADS.
2. ALL COMPACTION TESTS SHALL BE TAKEN BEFORE ELECTRICAL BOXES ARE SET INTO PLACE.
3. ALL SAND, ROADBASE AND ENGINEERED FILL SHALL MEET SPANISH FORK CITY STANDARDS.
4. REFER TO "EARTHWORK AND TRENCHES" SECTION IN THE CONSTRUCTION STANDARDS FOR ADDITIONAL REQUIREMENTS FOR BACKFILL, TRENCHING AND COMPACTION.
5. AREA AROUND ELECTRICAL BOXES SHALL BE BACKFILLED & LEVELED A MINIMUM OF 12' IN ALL DIRECTIONS TO PROVIDE A SAFE WORKING AREA FOR THE ELECTRIC DEPARTMENT.

DRAWN	JLR	 <p>SPANISH FORK CITY 40 SOUTH MAIN STREET SPANISH FORK, UT 84660 (801) 804-4550</p>	REVISION	DATE	BY	<p>STANDARD DRAWING ELECTRICAL BOX BACKFILL &amp; COMPACTION</p>	SCALE NONE
DESIGN	TC			1/18/07	JRB		<p>STANDARD 50 OF 68</p>
CHECK	TC						
DATE	8/23/12						

TYPE OF CONDUIT	(MIN.) DEPTH TO TOP OF CONDUIT
COMMUNICATION	30" MIN.
STREET LIGHT	4'
2" ELECTRICAL SERVICE	4'
3" AND 4" ELECTRICAL	4'
6" ELECTRICAL	6'

TYPICAL JOINT TRENCH OF HIGH VOLTAGE, LOW VOLTAGE, & COMMUNICATIONS CONDUITS

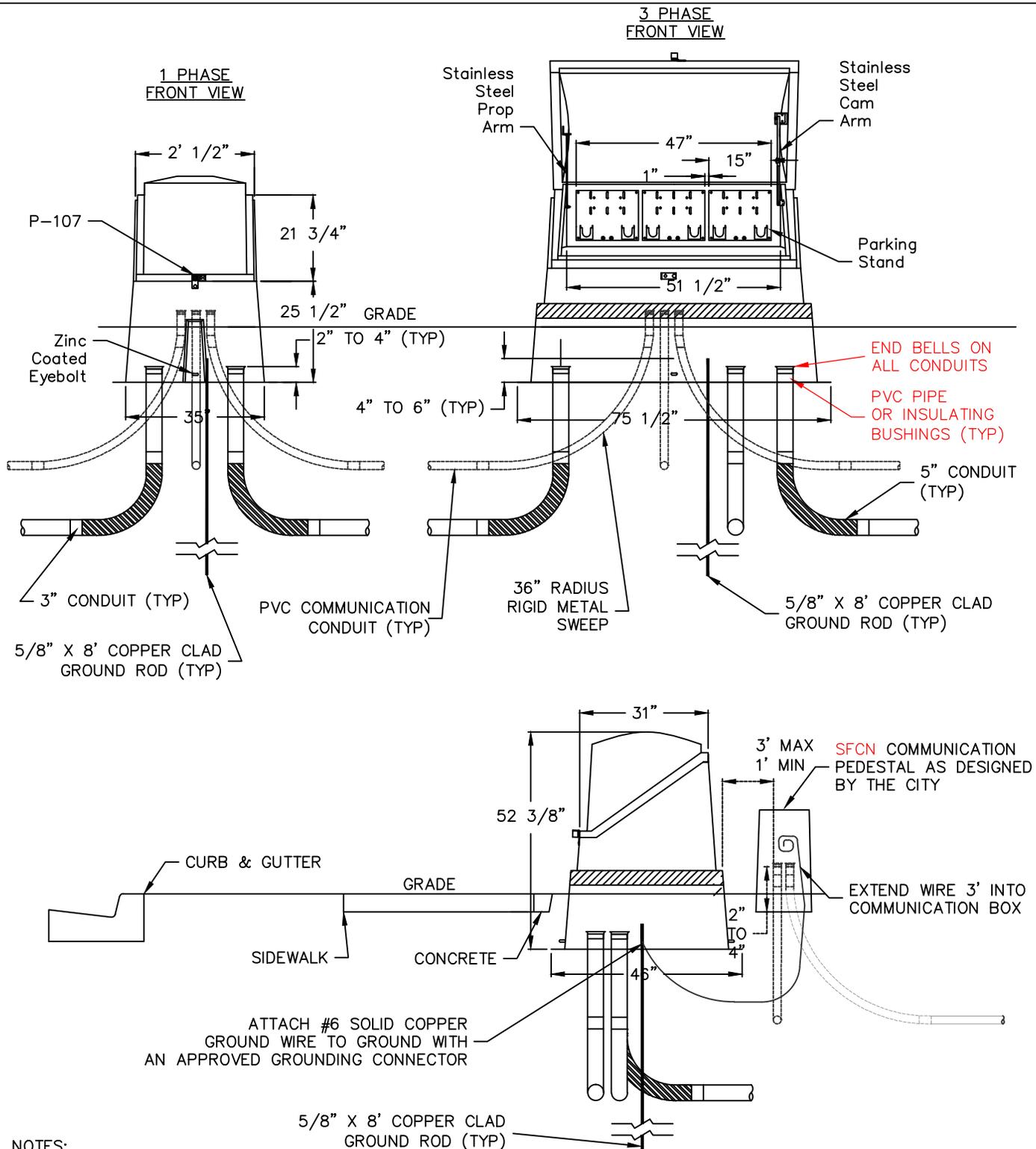


ALL POWER CONDUIT SHALL BE BURIED A MINIMUM OF 4' IN DEPTH TO TOP OF CONDUIT. IF HIGH VOLTAGE (12KV) CONDUITS & LOW VOLTAGE (600 VOLT) POWER CONDUITS ARE INSTALLED IN THE SAME TRENCH, THE HIGH VOLTAGE POWER SHALL ALWAYS BE INSTALLED BELOW LOW VOLTAGE POWER CONDUITS. IF THERE ARE MULTIPLE HIGH VOLTAGE CONDUITS (3" 1PHASE, 6" 3PHASE) IN THE SAME TRENCH, ALL HIGH VOLTAGE CONDUITS MAY BE INSTALLED AT THE DEPTH OF THE LARGEST CONDUIT (6")

NOTES:

1. COMMUNICATIONS CONDUIT ROUTING SHALL BE COORDINATED THROUGH THE SPANISH FORK ELECTRIC DEPARTMENT.
2. COMMUNICATIONS CONDUITS SHALL BE BEHIND OR TO THE SIDES OF TRANSFORMERS, SECTIONALIZERS OR JUNCTION BOXES.
3. HIGH VOLTAGE PRIMARY CONDUITS SHALL ALWAYS BE BELOW SECONDARY CONDUITS.
4. REBAR SHALL BE CAPPED UNTIL BACKFILLED.
5. BACKFILL SHALL MEET THE REQUIREMENTS OF EARTHWORK AND TRENCHES AND OTHER STANDARDS IN THE CONSTRUCTION AND DEVELOPMENT STANDARDS.
6. ALL CONDUITS SHALL BE INSPECTED AT EACH "LIFT", AT THE COMPACTION LEVEL, AND FOR A FINAL INSPECTION.
7. A CAUTION TAPE SHALL BE PLACED DIRECTLY ON CONDUIT, AND A CAUTION TAPE SHALL BE PLACED 1' BELOW GRADE FOR BOTH POWER & CITY COMMUNICATIONS.

DRAWN JLR DESIGN TC CHECK TC DATE 8/23/12	 SPANISH FORK CITY 40 SOUTH MAIN STREET SPANISH FORK, UT 84660 (801) 804-4550	REVISION DATE BY	STANDARD DRAWING ELECTRIC AND COMMUNICATION CONDUIT JOINT TRENCH DETAIL	SCALE NONE STANDARD 51 OF 68
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**NOTES:**

1. SECTIONALIZER CABINET UNITS FOR 100 AMP 1 PHASE AND 3 PHASE ARE TO BE FABRICATED FROM FIBERGLASS COMPOSITE. CONDUIT OPENINGS MUST BE WITHIN THE GROUND SLEEVE WINDOW OF THE SECTIONALIZER. USE MANUFACTURER'S APPROVED GROUND SLEEVE FOR EACH SECTIONALIZER.
2. BLOW IN 1350 LB MULE TAPE IN ALL CONDUITS AND TIE SECURELY TO 4 POINT MOUNTING PLATE.
3. CONTRACTOR TO FURNISH & INSTALL 200-AMP 4-POINT MOUNTING JUNCTION AND PLATES & 4-POINT JUNCTIONS.
4. 200 AMP 1 PHASE SECTIONALIZER P/N: NORDIC ND-150-MG-101-X-X OR WESTERN POWER PRODUCTS P/N: SPM-320-47-MG-DF3
5. 200 AMP 3 PHASE SECTIONALIZER P/N: NORDIC ND-350-MG-101-X-X OR WESTERN POWER PRODUCTS P/N: SPM-540-47-MG-DF3

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DATE	8/23/12



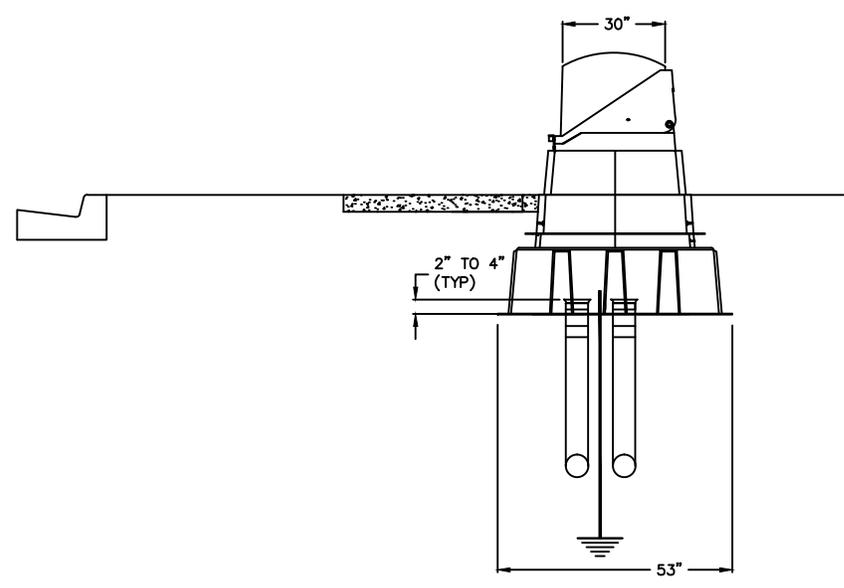
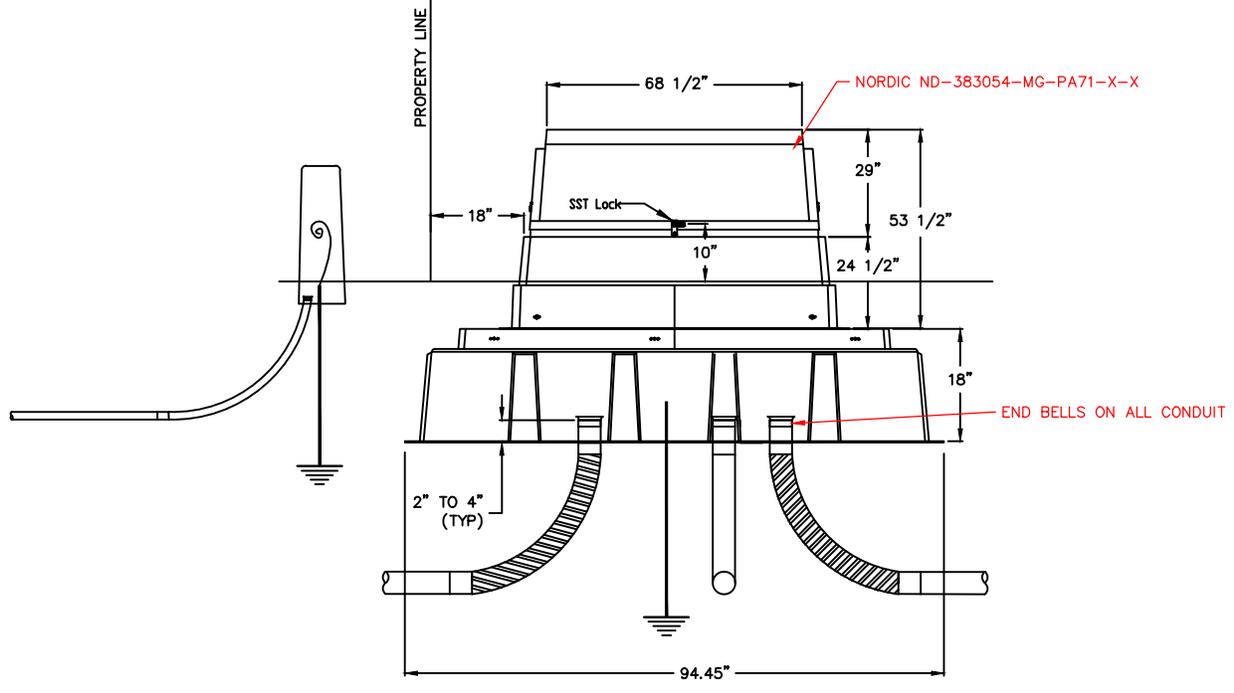
**SPANISH FORK CITY**  
 40 SOUTH MAIN STREET  
 SPANISH FORK, UT 84660  
 (801) 804-4550

REVISION	DATE	BY

STANDARD DRAWING  
 200-AMP 1 AND 3 PHASE  
 FIBERGLASS SECTIONALIZER

SCALE  
 1"=3'  
 STANDARD  
 52B OF 68





NOTES:

1. SECTIONALIZER CABINET UNITS FOR 600 AMP 3 PHASE ARE TO BE FABRICATED FROM FIBERGLASS COMPOSITE & MEET SPANISH FORK ELECTRIC'S SPECIFICATIONS. CONDUIT OPENINGS MUST BE WITHIN THE GROUND SLEEVE WINDOW OF THE SECTIONALIZER.
2. BLOW IN 1/4" POLY ROPE AND TIE SECURELY TO 4 POINT MOUNTING PLATE.
3. GROUND SLEEVE AND CAP SHALL HAVE #4 REBAR 12" ON CENTER IN ALL DIRECTIONS. USE PRE-CAST CEMENT GROUND SLEEVE AND CAP WITH DIMENTIONS AS SHOWN ABOVE.

DRAWN	JLR
DESIGN	TC
CHECK	TC
DATE	8/29/12



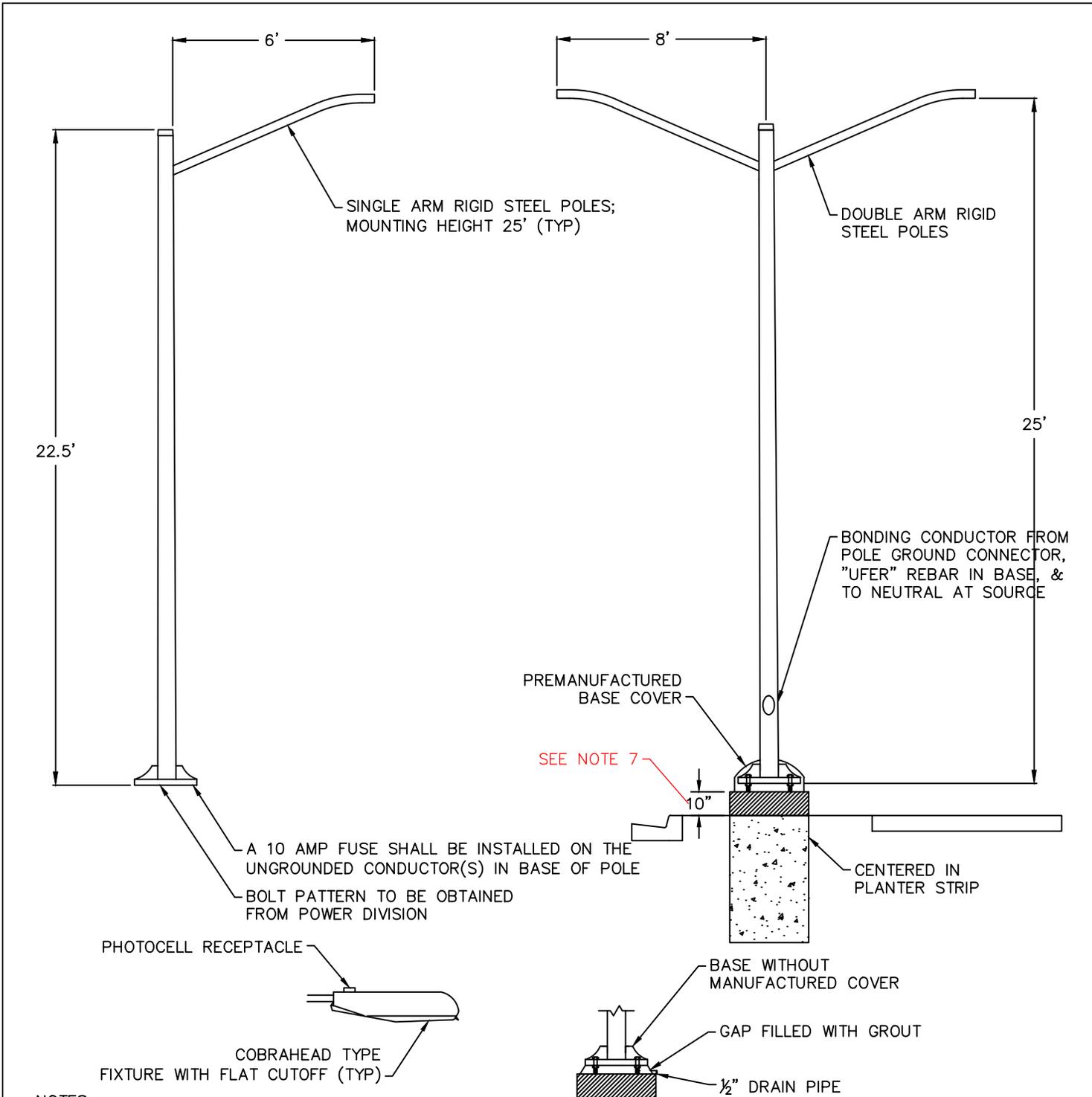
SPANISH FORK CITY  
 40 SOUTH MAIN STREET  
 SPANISH FORK, UT 84660  
 (801) 804-4550

REVISION	DATE	BY

STANDARD DRAWING  
 600 AMP 3 PHASE SECTIONALIZER

SCALE  
 1"=3'  
 STANDARD  
 52D OF 68





NOTES:

1. STREET LAMPS FOR COLLECTOR ROAD: 120/240 VOLT, 90 DEGREE CUT OFF, 250 W. HIGH PRESSURE SODIUM LUMINAIRE HEADS - COBRA STYLE.
2. STREET LAMPS FOR STANDARD ROAD: 120/240 VOLT, 90 DEGREE CUT OFF, 100 W. HIGH PRESSURE SODIUM LUMINAIRE HEADS - COBRA STYLE.
3. 1" PVC CONDUIT WITH RIGID STEEL ELBOWS TO RUN FROM BASE OF STREET LIGHT TO CLOSEST TRANSFORMER OR SECONDARY PEDESTAL.
4. IF PLANTER EXISTS STREET LIGHT WILL BE CENTERED IN PLANTER STRIP.
5. THE USE OF THE OPTIONAL STREET LIGHT SHALL BE DETERMINED BY THE ELECTRICAL DEPARTMENT.
6. SEE "STREET LIGHT BASE DETAILS" FOR SPECIFICATIONS FOR STREET LIGHT BASE.
8. ALL STREET LIGHT BASES ALONG STATE ROADS ARE TO BE FLUSH WITH THE TBC AND CONNECTED TO THE LIGHT POLE WITH A BREAKAWAY SUPPORT.

DRAWN	JLR
DESIGN	TC
CHECK	TC
DATE	8/29/12



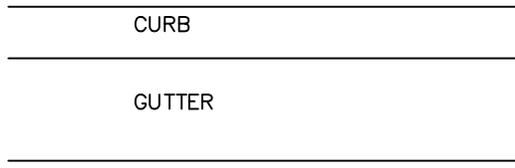
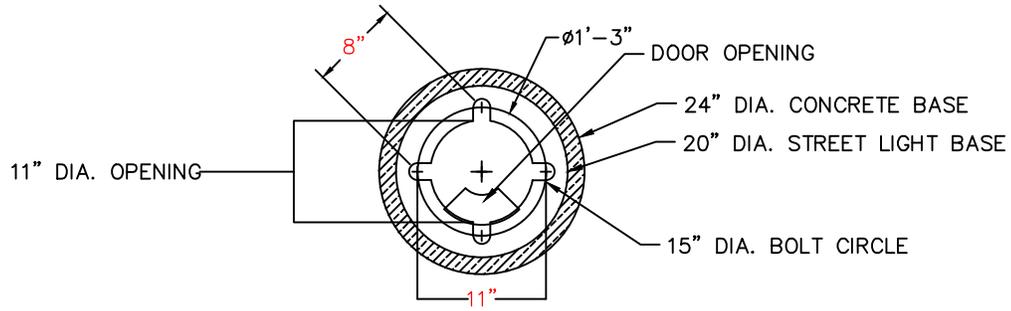
SPANISH FORK CITY  
40 SOUTH MAIN STREET  
SPANISH FORK, UT 84660  
(801) 804-4550

REVISION	DATE	BY

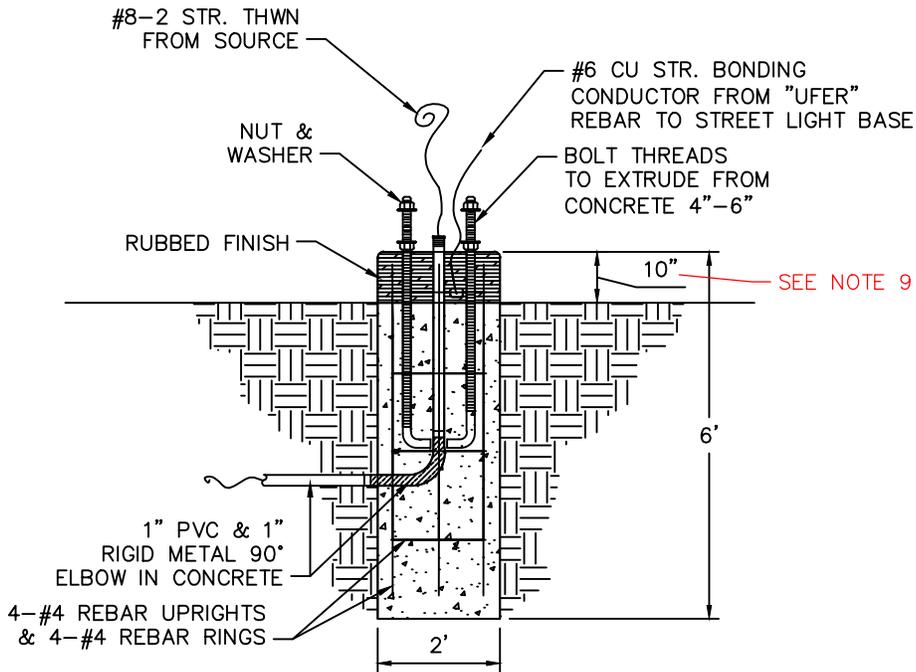
STANDARD DRAWING  
OPTIONAL STREET LIGHT  
POLE & FIXTURE

SCALE  
NONE  
STANDARD  
58 OF 68

ORIENTATION VIEWED FROM TOP OF POLE



STREET LIGHT BASE DETAIL



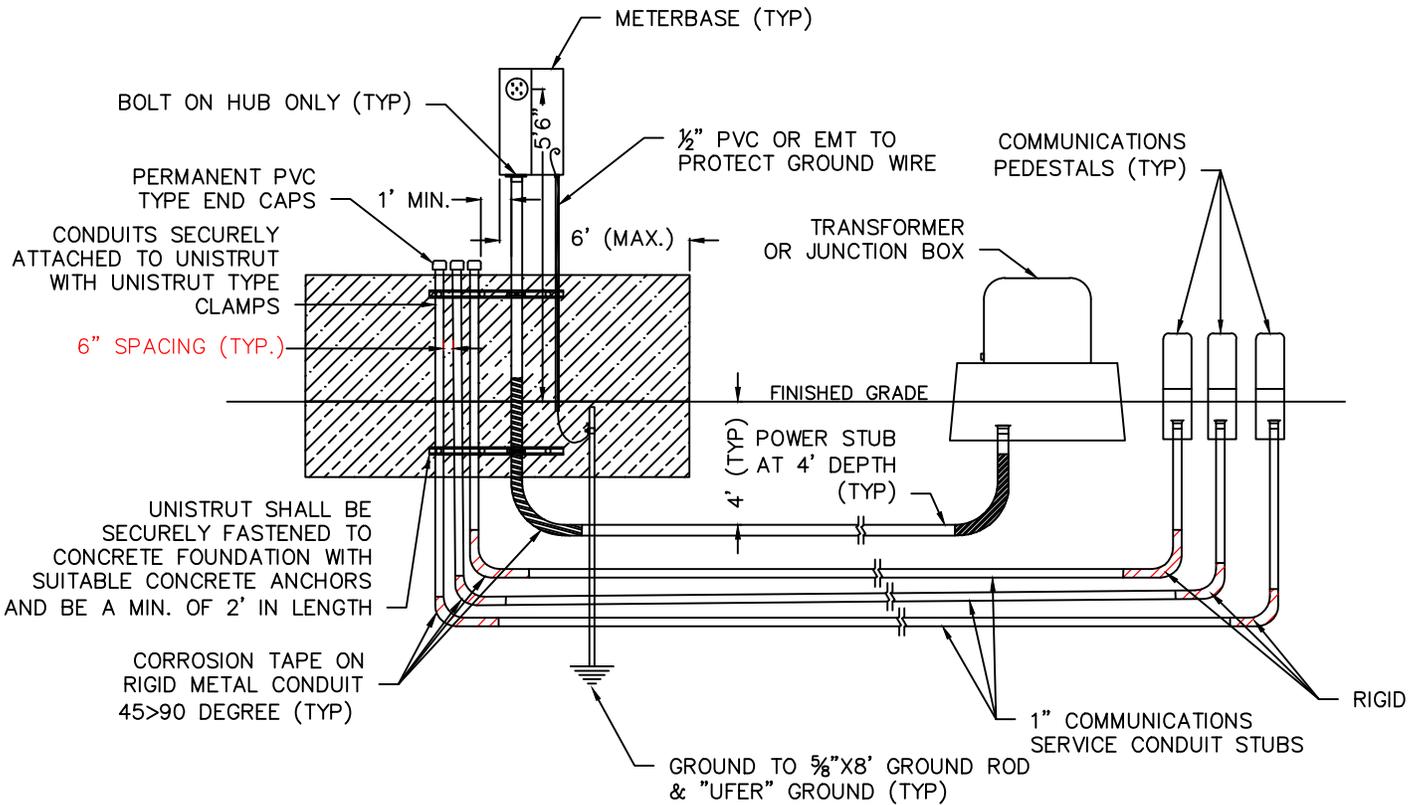
NOTES:

1. STREET LIGHT BASES SHALL BE INSPECTED PRIOR TO POURING CONCRETE.
2. STREET LIGHT BASES SHALL BE 2' IN DIAMETER AND 6' IN DEPTH WITH 10" OF BASE EXPOSED ABOVE TOP BACK OF CURB.
3. EXPOSED CONCRETE SHALL HAVE A RUBBED FINISH, WITH ALL HONEYCOMB OR CRACKS FILLED.
4. STREET LIGHT BASE SHALL BE CENTERED IN PLANTER STRIP OR 3" FROM TOP BACK OF CURB TO CENTER OF BASE IF NO PLANTER STRIP IS PRESENT.
5. SONNETUBE SHALL BE KEPT DRY AND SHALL NOT BE ALLOWED TO DEFORM IN ANY WAY.
6. CONCRETE COVER OVER REINFORCING STEEL SHALL BE 2" UNLESS OTHERWISE APPROVED.
7. USE 4-#4 REBAR UPRIGHTS & 4-#4 REBAR RINGS SPACED EVENLY AND KEPT 2" FROM SIDES, TOP AND BOTTOM OF CONCRETE.
8. GROUT GAP IN BETWEEN STREET LIGHT AND BASE & PROVIDE 1/2" DRAIN PIPE FOR WATER.
9. ALL STREET LIGHT BASES ALONG STATE ROADS ARE TO BE FLUSH WITH THE TBC AND CONNECTED TO THE LIGHT POLE WITH A BREAKAWAY SUPPORT.

DRAWN	JLR	 <p>SPANISH FORK CITY 40 SOUTH MAIN STREET SPANISH FORK, UT 84660 (801) 804-4550</p>	REVISION	DATE	BY	<p>STANDARD DRAWING STREET LIGHT POLE BASE DETAIL</p>	SCALE
DESIGN	TC						NONE
CHECK	TC						STANDARD
DATE	8/29/12						59 OF 68

SERVICE SIZE	NEC WIRE SIZE	CONDUIT SIZE
100 AMP	#2 ALU	2"
125 AMP	1/0 ALU	2"
150 AMP	2/0 ALU	2"
200 AMP	4/0 ALU	2"
201 AMPS-400 AMPS SEE ELECTRICAL DIVISION		

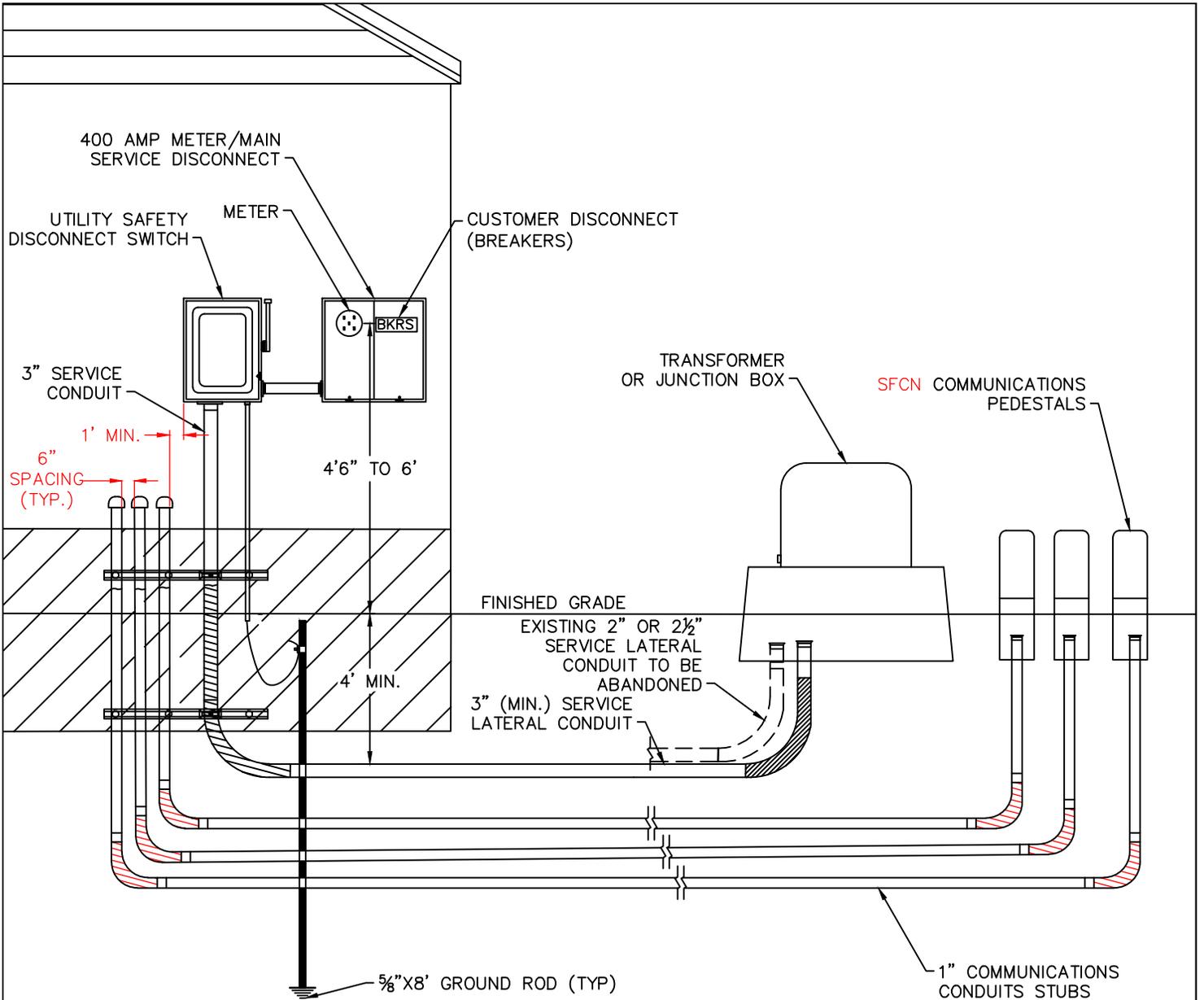
SURFACE MOUNT FRONT VIEW



NOTES:

1. ALL MATERIALS TO BE SUPPLIED BY CUSTOMER EXCEPT METER.
2. ALL TEMPORARY/PERMANANT EQUIPMENT SHALL COMPLY WITH CURRENT N.E.C., N.E.S.C, AND CITY STANDARDS.
3. SPANISH FORK ELECTRICAL DIVISION WILL FURNISH AND INSTALL METER AND CONNECT SERVICE IN TRANSFORMER OR JUNCTION BOX.
4. SERVICE CONDUCTORS SHALL MEET CURRENT NATIONAL ELECTRIC CODE.
5. GROUND ROD TO BE DRIVEN A MINIMUM OF 6' IN UNDISTURBED SOIL. GROUNDING CONDUCTOR CONNECTED TO GROUND ROD SHALL BE MINIMUM OF #6 COPPER.
6. UNISTRUT TO BE OF ONE PIECE AND OF 2' IN LENGTH
7. ENOUGH WIRE SHALL BE PROVIDED TO EXTEND A MINIMUM OF 3' PAST THE TRANSFORMER OR SECONDARY PEDESTAL GROUND SLEEVE.
8. RIGID METAL CONDUITS SHALL BE TAPED WITH ANTI-CORROSION TAPE. TAPE SHALL EXTEND 6" ABOVE FINISHED GRADE.
9. ALL POWER SERVICE LATERAL CONDUITS SHALL BE 2" OR 3". TO DETERMINE SIZE FIELD VERIFY BY EXCAVATING THE SERVICE STUBS.
10. METERBASE SHALL BE LOCATED WITHIN THE FRONT 6' OF THE SIDE OF THE HOUSE. OTHER LOCATION SHALL FIRST BE APPROVED BY POWER DEPT.
11. METER SOCKET SHALL BE PLACED A MINIMUM OF 4'6" AND A MAXIMUM OF 6' TO CENTER OF SOCKET FROM FINISHED GRADE.
12. CONTACT POWER DEPT. TO SCHEDULE APPOINTMENT FOR ASSISTANCE IN PULLING IN URD WIRE INTO ENERGIZED TRANSFORMERS.
13. MAIN DISCONNECT BREAKER TO BE INSTALLED AT TIME OF INSPECTION.

DRAWN	JLR	 <p>SPANISH FORK CITY 40 SOUTH MAIN STREET SPANISH FORK, UT 84660 (801) 804-4550</p>	REVISION	DATE	BY	<p>STANDARD DRAWING RESIDENTIAL UNDERGROUND SERVICE 200 AMPS OR LESS</p>	SCALE NONE
DESIGN	TC		12/08/08				<p>STANDARD 60A OF 68</p>
CHECK	TC						
DATE	8/29/12						



**NOTES:**

1. ALL MATERIALS TO BE SUPPLIED BY CUSTOMER EXCEPT METER.
2. 400 AMP SERVICES REQUIRE SPECIAL CARE IN DESIGN & CONSTRUCTION. REQUIREMENTS MAY INCLUDE, BUT ARE NOT LIMITED TO, INSTALLING LARGER TRANSFORMERS, JUNCTION BOXES, CONDUITS, & WIRING TO SERVE THE END CUSTOMER. CONTACT THE ELECTRIC PARTMENT FOR APPROVAL OF SERVICE.
3. A 400 AMP NON-FUSED UTILITY DISCONNECT SWITCH SHALL BE INSTALLED AHEAD OF THE 400 AMP METER/MAIN SERVICE DISCONNECT. THE UTILITY DISCONNECT SWITCH SHALL HAVE A SHORT-CIRCUIT CURRENT RATING EQUAL TO OR GREATER THAN THE AVAILABLE SHORT-CIRCUIT CURRENT RATING OF THE SERVICE DISCONNECTING MEANS.
4. A MINIMUM 3" DIAMETER CONDUIT IS REQUIRED FOR 400 AMP SERVICES. EXISTING SERVICE LATERAL CONDUIT MAY NOT BE LARGE ENOUGH FOR A 400 AMP SERVICE. NEW SERVICE CONDUIT MAY NEED TO BE INSTALLED TO EXISTING TRANSFORMER OR JUNCTION BOX. CONTACT ELECTRIC DEPARTMENT FOR REQUIREMENTS.
5. SERVICE CONDUCTORS SHALL MEET CURRENT NATIONAL ELECTRIC CODE.
6. BONDING & GROUNDING SHALL MEET CURRENT NEC & ELECTRIC DEPARTMENT REQUIREMENTS. A 5/8"X8' GROUND ROD SHALL BE INSTALLED FOR ALL SERVICES IN ADDITION TO OTHER NED CODE REQUIREMENTS.
7. ADDRESS MUST BE POSTED ON PROPERTY DURING ALL PHASES OF CONSTRUCTION.
8. ENOUGH WIRE SHALL BE PROVIDED TO EXTEND A MINIMUM OF 3' PAST THE TRANSFORMER OR SECONDARY PEDESTAL GROUND SLEEVE.
9. ALL RIGID METAL CONDUITS SHALL BE TAPED WITH ANTI-CORROSION TAPE. TAPE SHALL EXTEND 6" ABOVE FINISHED GRADE.
10. METERBASE/DISCONNECT SHALL BE LOCATED ON THE FRONT 6' OF THE SIDE OF THE HOUSE.
11. METER HEIGHT SHALL BE NO LESS THAN 4'6" AND NO HIGHER THAN 6' TO CENTER OF SOCKET FROM FINISHED GRADE.

DRAWN	JLR
DESIGN	TC
CHECK	TC
DATE	8/29/12



SPANISH FORK CITY  
 40 SOUTH MAIN STREET  
 SPANISH FORK, UT 84660  
 (801) 804-4550

REVISION	DATE	BY

STANDARD DRAWING  
 RESIDENTIAL UNDERGROUND SERVICE  
 400 AMPS

SCALE NONE
STANDARD 65 OF 68

**DEVELOPMENT AGREEMENT  
MAPLE MOUNTAIN SUBDIVISION  
SPANISH FORK CITY, UTAH**

This Development Agreement is entered into as of this 20th day of November, 2012, by and among Salisbury Development, L.C. (Salisbury), Central Bank and Trust (Bank), as the successor in interest to David Simpson, and Lyle B. Haycock, as developers (collectively referred to herein as “Developers”) of certain real property located in Spanish Fork City, Utah County, Utah, on which it proposes the development of a residential project known as Maple Mountain Subdivision, and Spanish Fork City, a municipality and political subdivision of the State of Utah, by and through its City Council (City).

**RECITALS:**

- A. City has authorized the negotiation and adoption of development agreements under appropriate circumstances where the proposed development contains outstanding features which advance the policies, goals and objectives of the Spanish Fork City Comprehensive General Plan, preserves and maintains the atmosphere desired by the citizens of the City, and contributes to capital improvements which substantially benefit the City.
- B. City, acting pursuant to its authority under Utah Code Ann. §10-9a-101, et seq., and in furtherance of its land use policies, goals, objectives, ordinances, resolutions, and regulations, has made certain determinations with respect to the proposed Maple Mountain Subdivision, and, in the exercise of its legislative discretion, has elected to

approve this Development Agreement.

Now, therefore, in consideration of the mutual covenants, conditions, and considerations as more fully set forth below, Developers and City hereby agree as follows:

1. **Construction Obligations for Maple Mountain Subdivision**

In order to provide a high quality subdivision to protect the quality of life of its residents and to protect property values, the following construction standards shall be applicable to the construction of all residences within Maple Mountain Subdivision:

A. The sizes and locations of lots, open spaces, parks, trails, common areas, and schools shall be as shown on the amended plat attached hereto as Exhibit A and incorporated herein by this reference;

B. Bank shall dedicate, to City, Park 1, as indicated on Exhibit A, incorporated herein and made a part hereof by this reference, upon the approval of this agreement;

C. Bank will construct all streets adjacent to Park 1, including curb, gutter, sidewalk, asphalt, and park strip with landscaping (hydroseed or sod and automatic sprinklers) therein with Phase C outlined in Exhibit A. City will be obligated to install all of the park improvements.

D. Salisbury shall dedicate, to City, the trail and Park 2, as indicated on Exhibit A, upon the approval of this agreement;

E. Salisbury will construct Park 2, including landscaping (hydroseed or sod

and automatic sprinklers) and trail with Phase G-2 outlined in Exhibit A;

F. Salisbury will commence improvements, consisting of grubbing and grading, for the construction of the clubhouse and Park 3, as an amenity to the townhomes, with Phase E-2 outlined in Exhibit B, will complete the street frontage of Park 3 and parking lot with phase E-3, and complete the clubhouse and park, including landscaping (hydroseed or sod and automatic sprinklers) with Phase E-4, provided that the clubhouse will be fully constructed within four years from the date of this agreement. In order to guarantee construction, Bank will post a cash bond in the amount of \$300,000.00, which City may call and use to construct the clubhouse if not constructed in the time frame established herein;

G. Park 2 will be provided in the location shown on the plat with the following amenities:

1. A shade structure with a minimum of two picnic tables;
2. Full landscaping (hydroseed or sod) and automatic sprinkler irrigation system;
3. Fully paved trail, meeting City trail standards.

H. Curb, gutter, sidewalk, and street widening improvements, including a park strip and landscaping (hydroseed or sod and automatic sprinklers), will be provided on 400 North Street with the first to proceed of Phases J, K, L, M, N, O, P, or Q. If phases P or Q proceed first, the identified improvements will be provided along the frontage of those plats, plus west from the applicable plat to the west end of the preliminary plat shown as Exhibit A. Haycock will dedicate the property fronting Phase Q for these public improvements prior to the recording of the final plat for the phase which

requires these improvements to be installed. Haycock will dedicate a total of twelve feet to the existing right-of-way. No wall will be required on the frontage of the existing Haycock home. The horseshoe driveway to the Haycock home will remain, so as to allow vehicles to enter 400 North without backing. Salisbury and/or Bank are entitled to a connector's agreement for the improvements, as identified in this paragraph they may install in front of the Haycock parcel, plus any utilities installed along that frontage. If Haycock proceeds with development first, he shall be entitled to a connector's agreement for the improvements he may install, as identified in this paragraph, in front of the Grotegut parcel, plus any utilities installed along that frontage.

I. As consideration for the immediate dedication of Park 1 and Park 2, Developers shall be vested with the right to develop Maple Mountain Subdivision based upon this agreement and the amended preliminary plat approved simultaneously with this agreement. Abandonment shall be deemed to occur if the following event takes place:

1. A final plat is not recorded within twelve (12) months of the most recently recorded plat.

J. Nothing herein shall preclude Salisbury from installing improvements prior to the time required herein.

K. Full cross section streets which abut the fronts or sides of any phase which is approved as a final plat will be constructed as part of the plat improvements. Bonding and installation of the full streets includes curb, gutter, sidewalk, and asphalt.

## **2. Reserved Legislative Powers**

Nothing in this Agreement shall limit the future exercise of the police power by City to enact zoning, subdivision, development, transportation, environmental, open

space, and related land use plans, policies, ordinances, and regulations after the date of this Agreement.

**3. Subdivision Plat Approval and Compliance with Spanish Fork City Design and Construction Standards.**

Developers expressly acknowledge and agree that nothing in this agreement shall be deemed to relieve Developers from the obligation to comply with all applicable requirements of City necessary for approval and recordation of subdivision plats, site plans, and building permits, including the payment of impact and other fees and to act in compliance with all other applicable ordinances, resolutions, regulations, policies, and procedures of City, including but not limited to, the Subdivision Ordinance and Design and Construction Standards, in effect at the time of any construction, unless modified by the Spanish Fork Engineering Department, with the exception of the storm drain in the townhome portion, which will need to coordinate with that portion already installed in order to work properly. Developers further acknowledge and agree that the dedications and improvements required hereby are adequate and appropriate exactions for the increased density granted to the project.

**4. Assignability**

This agreement is assignable with the consent of the City and with the City's approval of the assignees, which consent shall not be unreasonably withheld.

**5. No Joint Venture, Partnership or Third Party Rights.**

This Development Agreement does not create any joint venture, partnership, undertaking or business arrangement between the parties hereto, nor any rights or benefits to third parties.

**6. Integration**

This Development Agreement contains the entire Agreement with respect to the subject matter hereof and integrates all prior conversations, discussions or understandings of whatever kind or nature and may only be modified by a subsequent writing duly executed by the parties hereto.

**7. Attorney's Fees**

If this agreement or any of the exhibits hereto are breached, the party at fault agrees to pay the attorney's fees and all costs of enforcement of the non-breaching party.

SALISBURY DEVELOPMENT, L.C. by:

Dated: \_\_\_\_\_

\_\_\_\_\_  
RICK M. SALISBURY, Manager

CENTRAL BANK AND TRUST by:

Dated: \_\_\_\_\_

\_\_\_\_\_  
MATT C. PACKARD, President

Dated: \_\_\_\_\_

\_\_\_\_\_  
LYLE B. HAYCOCK

SPANISH FORK CITY by:

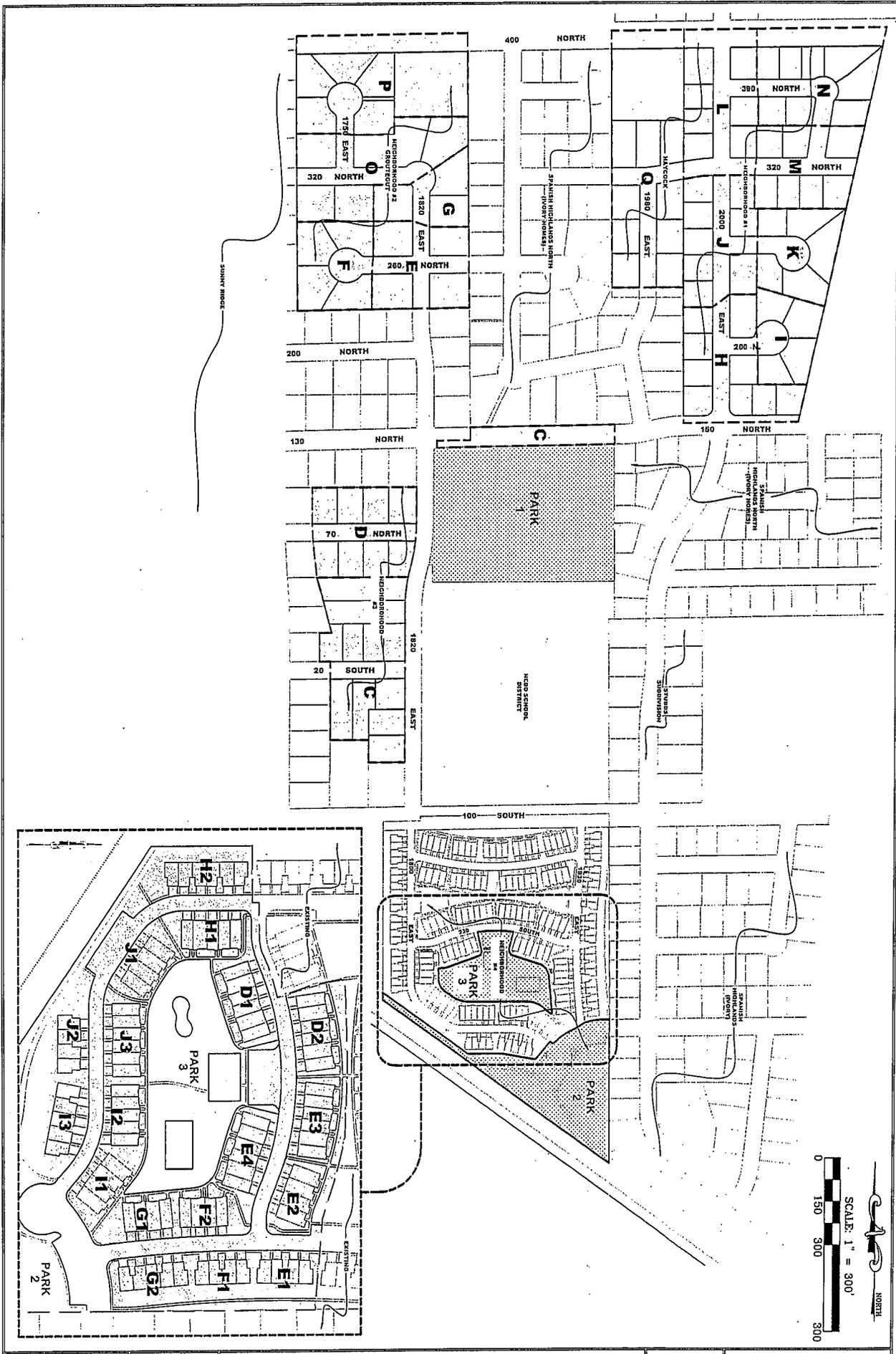
Dated: \_\_\_\_\_

\_\_\_\_\_  
G. WAYNE ANDERSEN, Mayor

Attest:

\_\_\_\_\_  
KENT R. CLARK City Recorder





**MAPLE MOUNTAIN**  
 SPANISH FORK, UTAH  
 EXHIBIT B  
 PHASING PLAN

**LPI**  
 ENGINEERS  
 SUBVEYORS  
 PLANNERS

2023 W. 3000 South  
 Spanish Fork, Utah 84643  
 Phone: (801) 734-2322  
 Fax: (801) 734-2322  
 Email: info@lpi.com

DATE	1
DESCRIPTION	
BY	
CHECKED BY	
DESIGNED BY	
SCALE	1" = 300'
DATE	04/20/2012

**TITLE 12. STREETS AND SIDEWALKS.**

**Chapter 12.12. Public Parades and Other Special Events.**

- 12.12.010. Parade and Special Event Regulations.**
- 12.12.020. Parking on Parade or Special Event Route.**
- 12.12.030. Exceptions.**
- 12.12.040. Violations.**

**12.12.010. Parade and Special Event Regulations.**

It shall be unlawful to for any person to claim, reserve, or occupy, or attempt to claim, reserve, or occupy, either in person or by the placement of ropes, tents, chairs, sleeping bags, blankets, or other devices or barriers, any public property as position for observing a public parade before 6:00 p.m. on the day prior to the Fiesta Days Mammoth Parade.

This section shall not allow any person to occupy a position on a public street or right-of-way, to obstruct a public sidewalk or to occupy any unsafe position or any position which may cause damage to public or private property.

(Ord. No. 03-00, Enacted, 05/02/2000)

**12.12.020. Parking on Parade or Special Event Route**

After 11:00 p.m. on the day preceding the Fiesta Days Mammoth Parade and continuing until the conclusion of the parade, it shall be unlawful to park a motor vehicle or trailer on the public streets which will be used as the parade route. Motor vehicles or trailers parked in violation of this section shall be considered a public nuisance and may be immediately towed from the public street.

(Ord. No. 03-00, Enacted, 05/02/2000)

**12.12.030. Exceptions.**

Nothing in this chapter shall prevent Spanish Fork City, Parade or Special Event Committees or Organizations, or persons otherwise authorized from reserving places on public property for observation of said parade, or from erecting and controlling seating on public property for the observation of said parade. Any such special seating may be authorized only by a permit issued by the City.

(Ord. No. 03-00, Enacted, 05/02/2000)

**12.12.040. Violations.**

Any person who violates any provision of this chapter is guilty of a Class C Misdemeanor.

(Ord. No. 03-00, Enacted, 05/02/2000)